

THE SCOPE OF THIS PROJECT IS CONFINED TO THE REAR YARD. WE ARE PROPOSING: A NEW INFINITY EDGE POOL AND SPA, A NEW STONE PATIO / POOL DECK, A NEW OUTDOOR KITCHEN ISLAND TO THE EAST OF THE POOL, NEW STEPS LEADING UP TO A STEPPING STONES AND TURF AREA. THE WOOD POOL EQUIPMENT ENCLOSURE IS PROPOSED TO THE EAST OF THE NEW TURF AREA. A NEW GLASS GUARDRAIL IS PROPOSED ALONG THE EDGE OF THE NEW STONE PATIO. NEW PLANTING AND IRRIGATION IS PROPOSED WITHIN THE CONFINES OF THE REAR YARD.

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LTD ENGINEERING, INC. - CONTACT: GLEN DEARTH - 1050 NORTHGATE DRIVE, SAN RAFAEL, CA 94903 - (415)-446-7402 - gdearth@LTDengineering.com

DETLEV P. DORING STRUCTURAL ENGINEERING INC. - CONTACT: DETLEV P. DORING - 216 CLEVELAND COURT, MILL VALLEY, CA - (415) 847-4814 - det@dpdoringse.com

MICHEL S. KHOURY, GEOTECHNICAL ENGINEER - CONTACT: MICHEL S. KHOURY -
(510)-525-1494 - info@calengineering.com

BUILDING & PLANNING CODE
ALL CONSTRUCTION, REGARDLESS OF DETAILS SHOWN ON THE PLANS,
SHALL COMPLY WITH THE FOLLOWING:

APPLICABLE BUILDING CODES:
 2019 California Building Code (CBC)
 2019 California Electrical Code (CEC)
 2019 California Mechanical Code (CMC)
 2019 California Plumbing Code (CPC)
 2019 California Fire Code (CFC)
 2019 California Green Building Standards Code (CAL Green)
 2019 California Energy Code (CEC)
 2019 Building Energy Efficiency Standards
 2019 California Residential Code (CRC)
 County of Marin Local Codes

"ALTHOUGH OUR PLAN REVIEW IS COMPREHENSIVE AND INTENDED TO BE COMPLETE, NON-COMPLIANT ELEMENTS AND CONDITIONS MAY OCCASIONALLY BE OVERLOOKED, OF SOME ELEMENTS MAY LACK CLARITY, OR AN ELEMENTS MAY BE MISREPRESENTED ON THE SUBMITTED PLANS, PLEASE BE AWARE NON-COMPLIANT ELEMENTS AND CONDITIONS NOT ADDRESSED IN PLAN REVIEW ARE SUBJECT TO FIELD REVIEW, AND COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS WILL BE REQUIRED."

SHEET DESCRIPTION

- L0.1 COVER SHEET & SITE PLAN
- L1.1 LANDSCAPE DEMO PLAN
- L2.1 LANDSCAPE CONSTRUCTION PLAN
- L3.1 LANDSCAPE LAYOUT PLAN
- L4.1 LANDSCAPE PLANTING PLAN
- L5.1 LANDSCAPE IRRIGATION PLAN
- L6.1 LANDSCAPE NOTES
- L7.1 LANDSCAPE DETAILS
- L8.1 LOT COVERAGE AND IMPERVIOUS SURFACE TOTALS
- C-1 COVER SHEET
- C-2 GRADING AND DRAINAGE PLAN
- C-3 DETAILS
- C-4 SPECIFICATIONS
- C-5 EROSION CONTROL PLAN
- C-6 EROSION CONTROL AND STORMWATER POLLUTION PREVENTION NOTES
- P-1 GENERAL NOTES, ABBREVIATIONS & TYPICAL DETAILS
- P-2 POOL LAYOUT PLANS, POOL NOTES, TYP. DETAIL & SECTION
- P-3 POOL SECTIONS
- P-4 TYPICAL RAILING, CONCRETE & REINFORCING DETAILS

(E) & Proposed Lot Area: 35,167 SF
APN Number: 039-290-33
Zoning: RPD
Wildland Interface: Y
Average Slope: 27.7 %
Flood Zone: No
Stream Conservation Buffer: No

(E) Impervious Surface: 8,175 SF
(N) Impervious Surface: 10,005 SF
(E) Lot Coverage: 4,873 SF
(N) Lot Coverage: 5,123 SF

Front Setback
Existing = 25'-0"
Proposed = 25'-0"

Rear Setback
Existing = 25'-0"
Proposed = 25'-0"

Side Setback (West)
Existing = 30'-0"
Proposed = 30'-0"

Side Setback (East)
Existing = 25'-0"
Proposed = 25'-0"

[illegible][illegible]

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PLOT DATE	11.04.2021
DRAWN	EO
JOB #	POSNER
SCALE	SEE SCALE

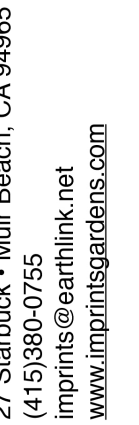
COVER SHEET

SHEET

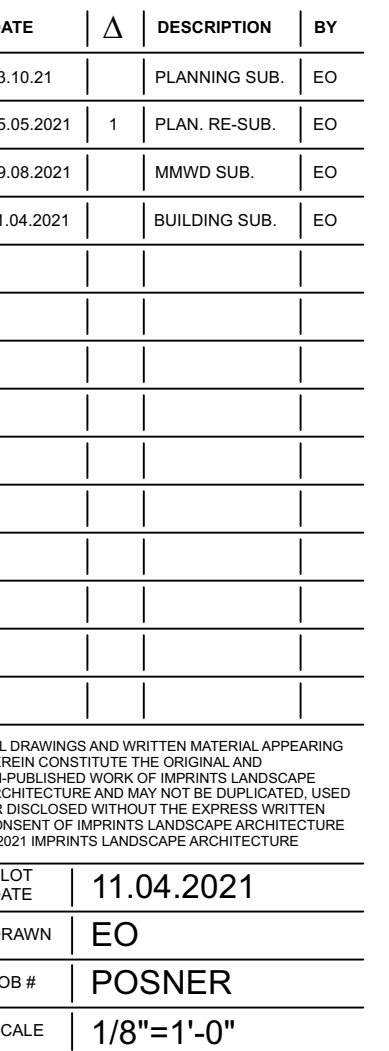
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POSNER RESIDENCE
139 GILMARTIN DRIVE
TIBURON, CA 94920
AP #: 039-290-33

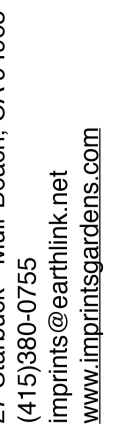


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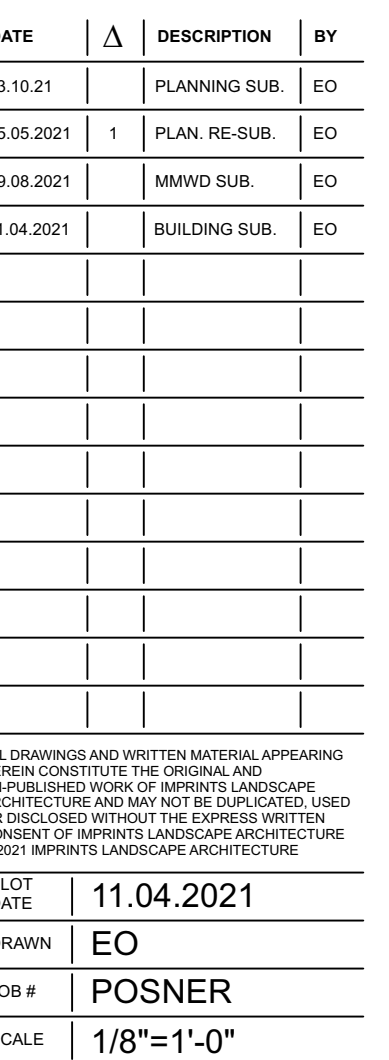


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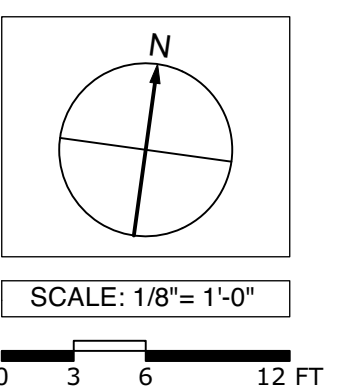
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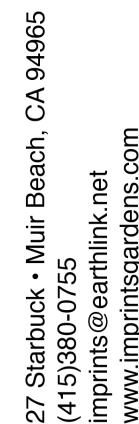


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AP #: 039-290-33**

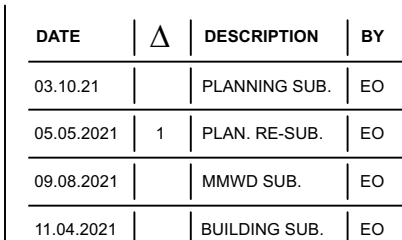


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AP #: 039-290-33

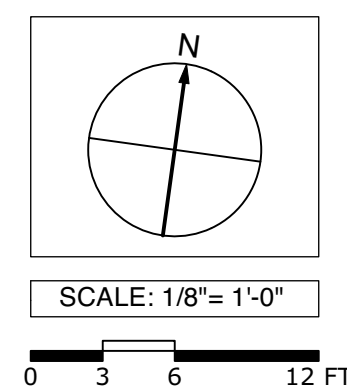


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PLOT DATE	11.04.2021
DRAWN	EO
JOB #	POSNER
SCALE	1/8"=1'-0"

SHEET

L3.1



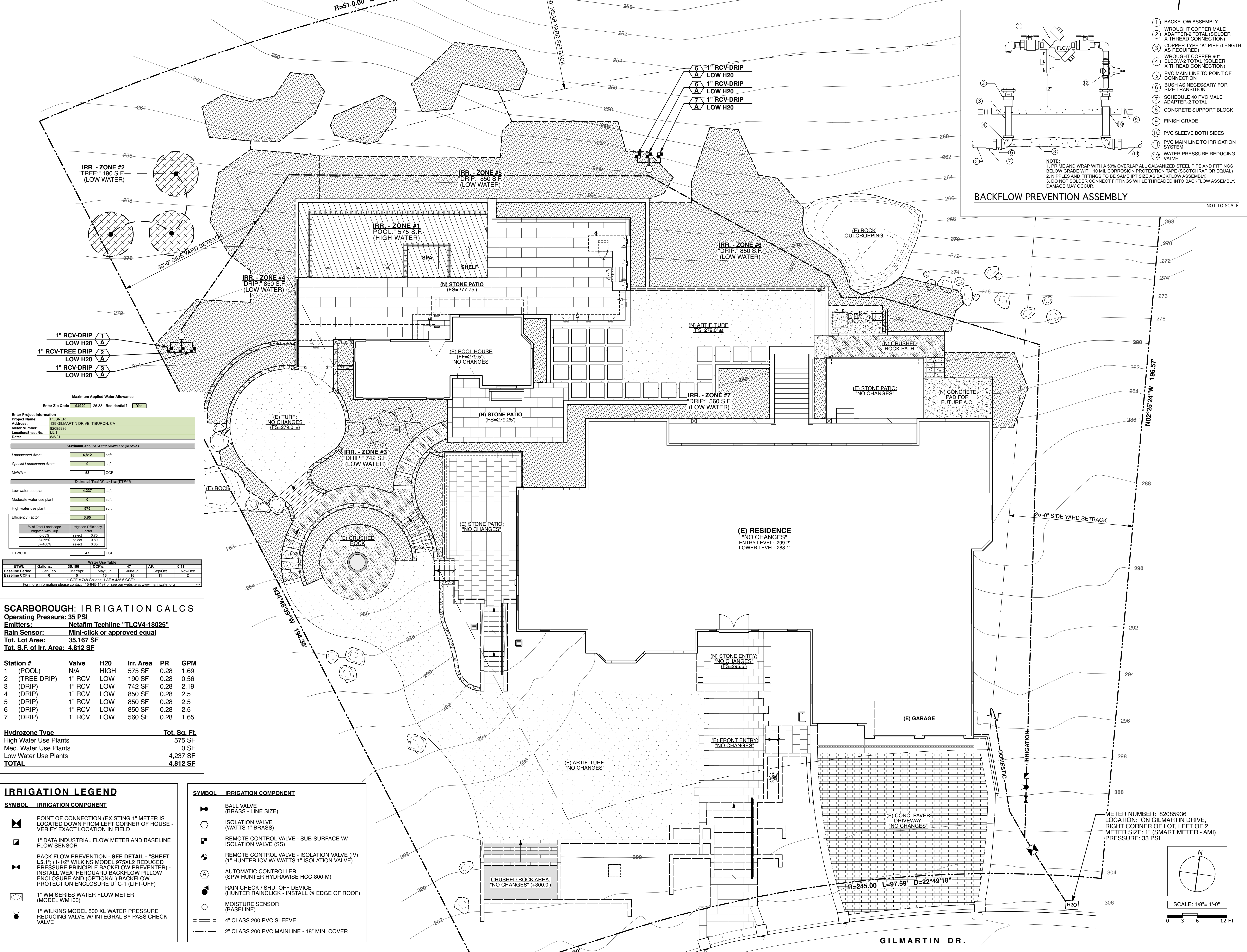


RESIDENCE
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[illegible]LANDSCAPE
PLANTING PLAN

SHEET

L4.1



IMPRINTS LANDSCAPE ARCHITECTURE

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POSNER RESIDENCE

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TIBURON, CA 94920
AP #: 039-290-33

LANDSCAPE IRRIGATION PLAN

SHEET

L5.1

DATE	DESCRIPTION	BY
03.10.21	PLANNING SUB.	EO
05.05.2021	1 PLAN RE-SUB.	EO
09.08.2021	MMWD SUB.	EO
11.04.2021	BUILDING SUB.	EO

PROJECT DATE: 11.04.2021

DRAWN: EO

JOB #: POSNER

SCALE: 1/16"=1'-0"

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PILOT DATE: 11.04.2021

DRAWN: EO

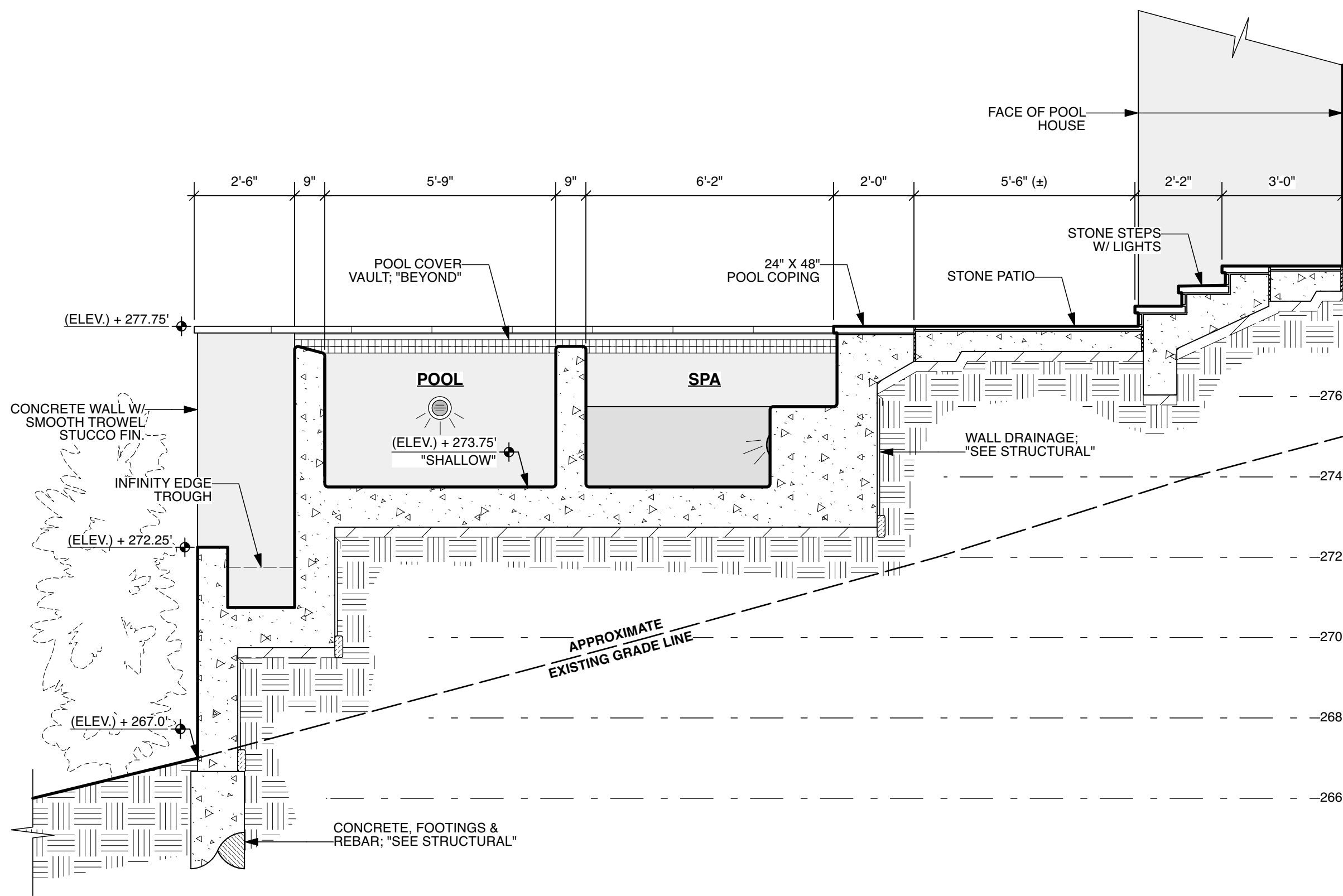
JOB #: POSNER

SCALE: 1/16"=1'-0"

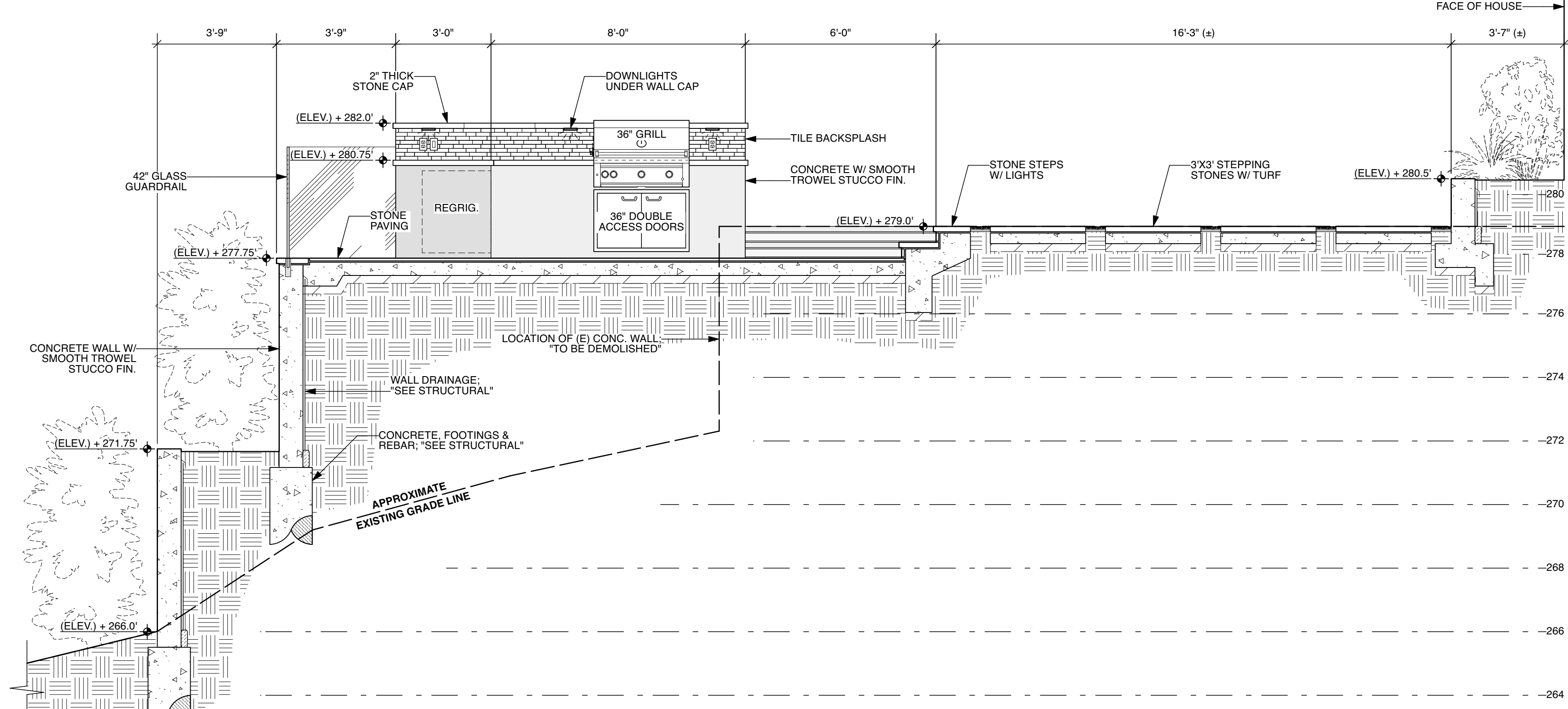
LANDSCAPE IRRIGATION PLAN

SHEET

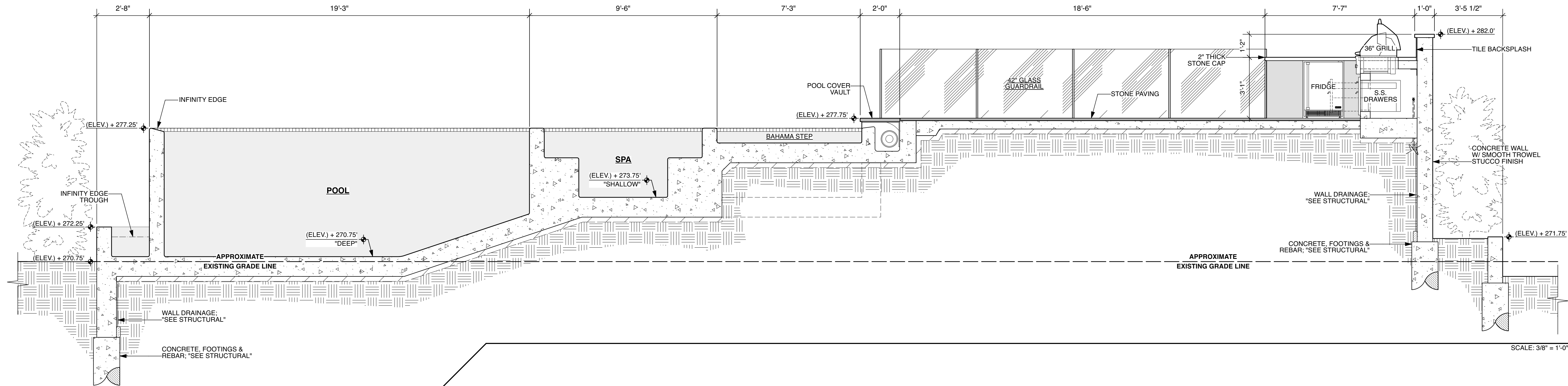
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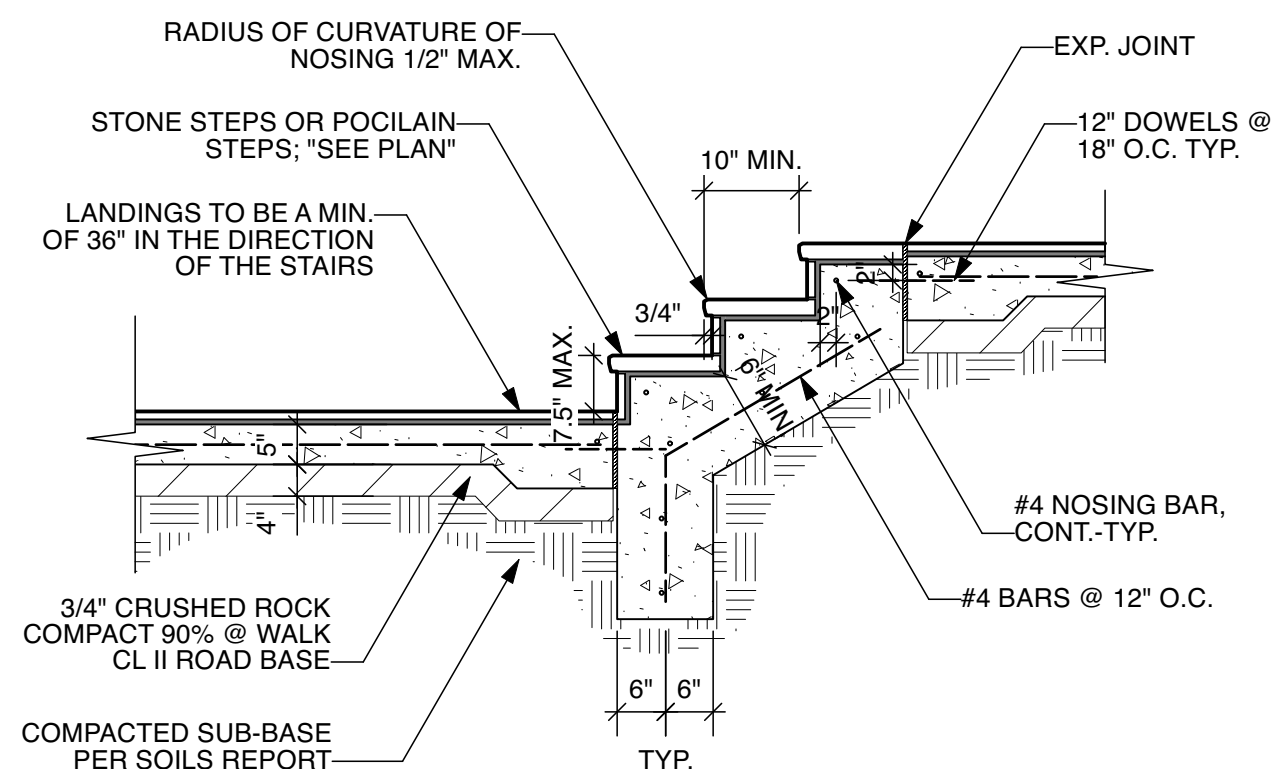
1 POOL & PATIO: SECTION / ELEVATION - A : A
SCALE: 3/8" = 1'-0"



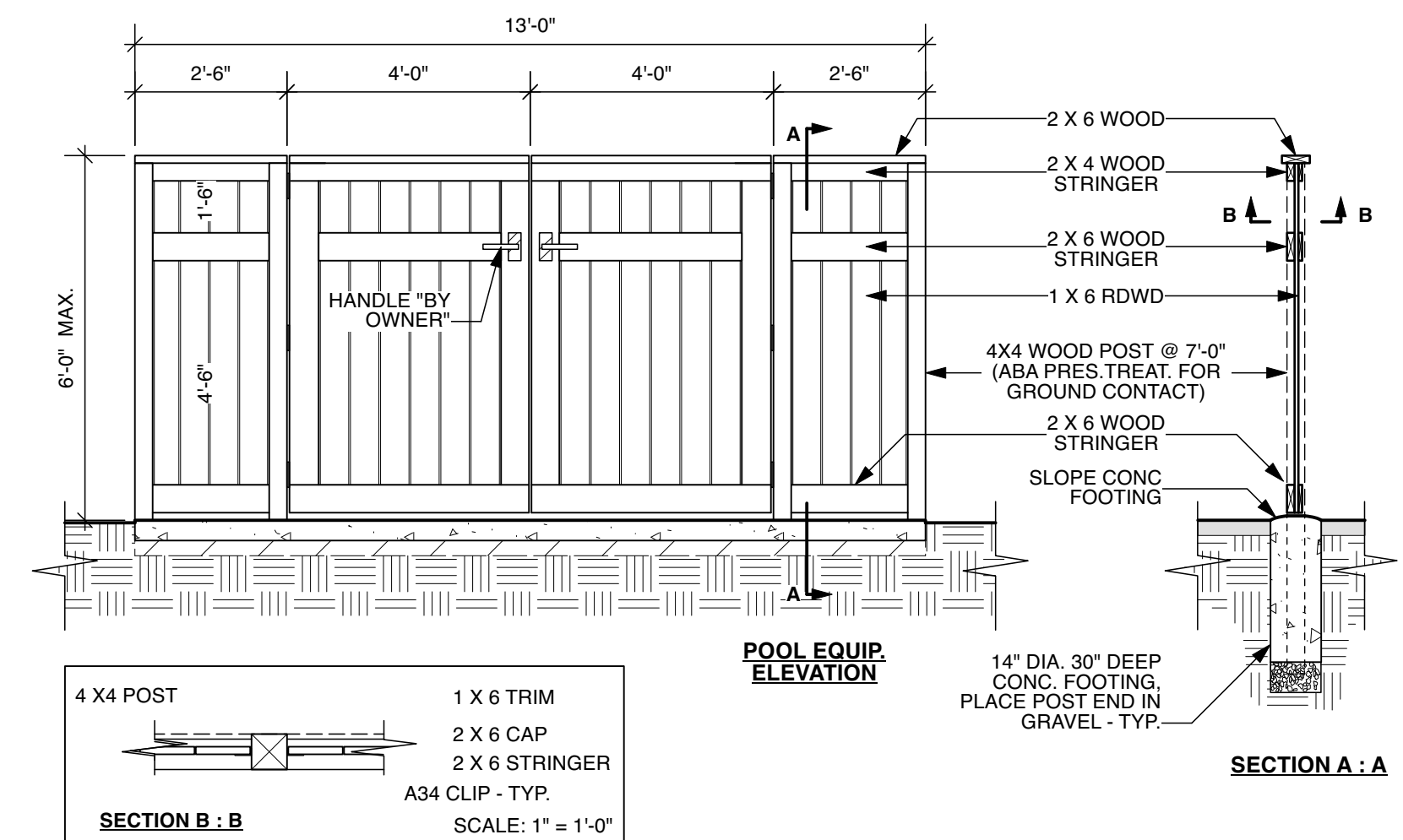
2 PATIO & OUTDOOR KITCHEN : SECTION / ELEVATION - B : B
SCALE: 3/8" = 1'-0"



3 POOL & OUTDOOR KITCHEN : SECTION / ELEVATION - C : C
SCALE: 3/8" = 1'-0"



4 TYP. STONE STEPS: SECTION
NOTE: STRUCTURAL ENG. TO SUPERSEDE LANDSCAPE DRAWINGS FOR ALL CONCRETE AND REBAR INFO.
SCALE: 1/2" = 1'-0"



5 WOOD POOL EQUIP. ENCLOSURE: SEC. / ELEV.
SCALE: 3/8" = 1'-0"



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TIBURON, CA 94920
AP #: 039-290-33



DATE	DESCRIPTION	BY
03.10.2021	PLANNING SUB.	EO
05.05.2021	1 PLAN, RE-SUB.	EO
09.XX.2021	BUILDING SUB.	EO

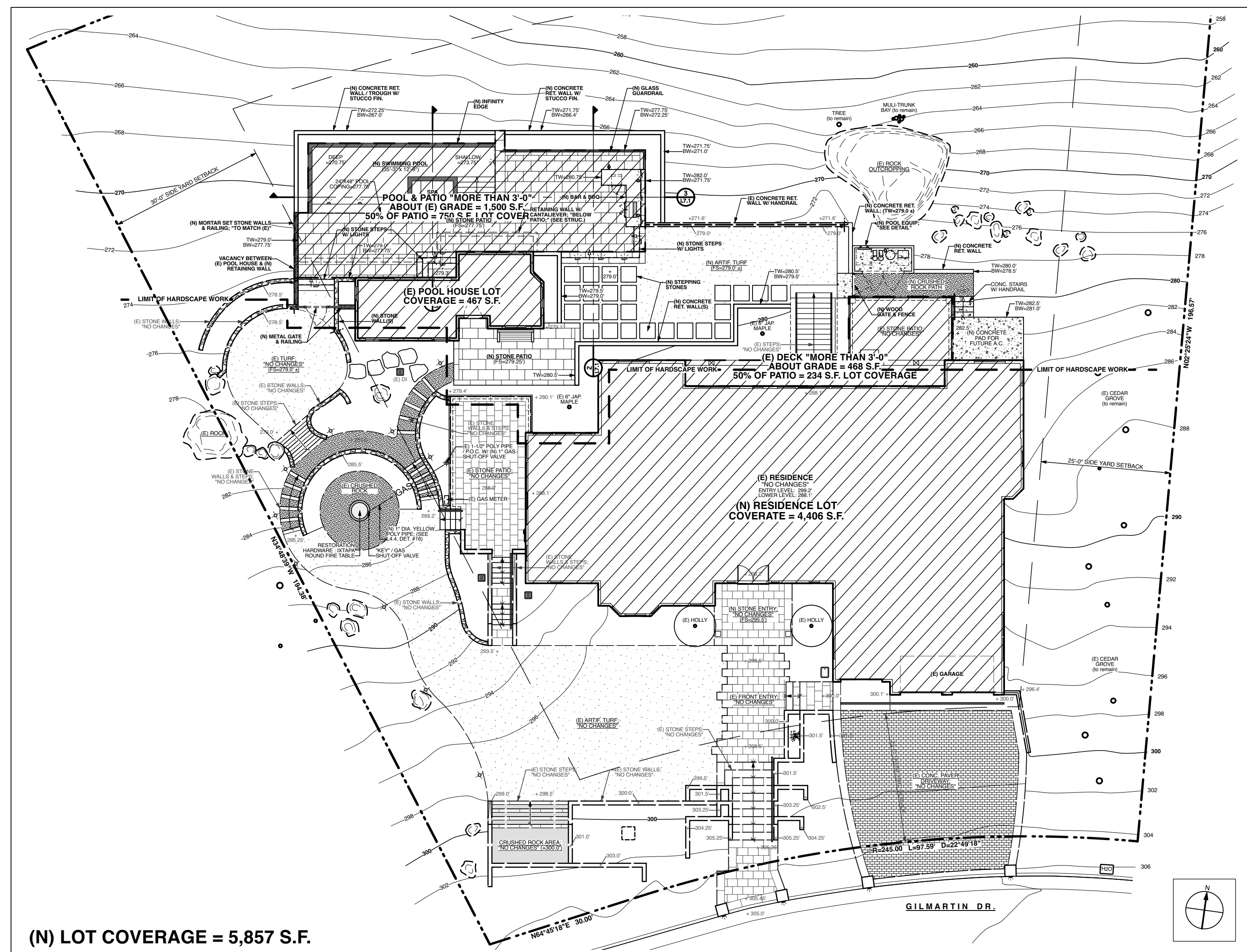
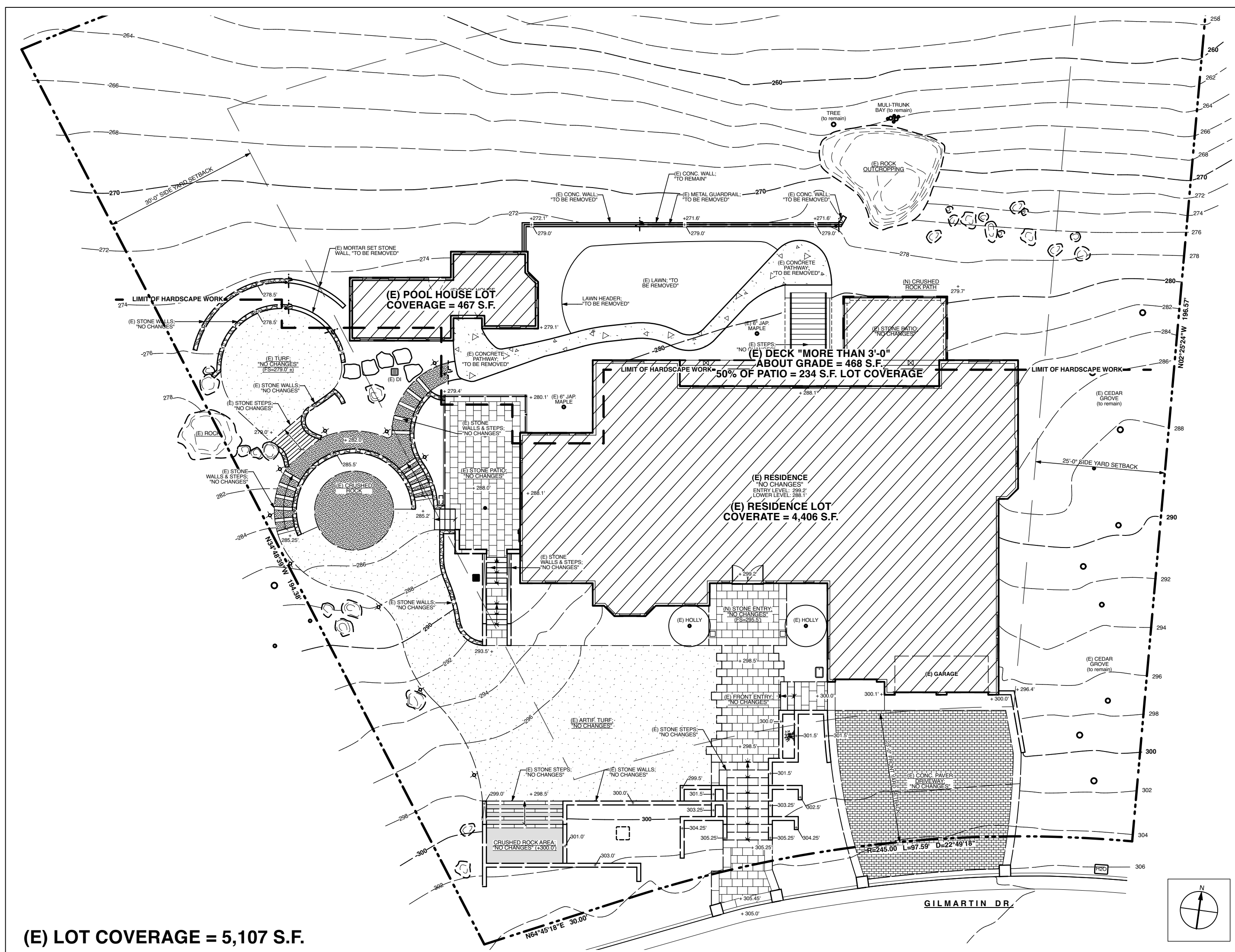
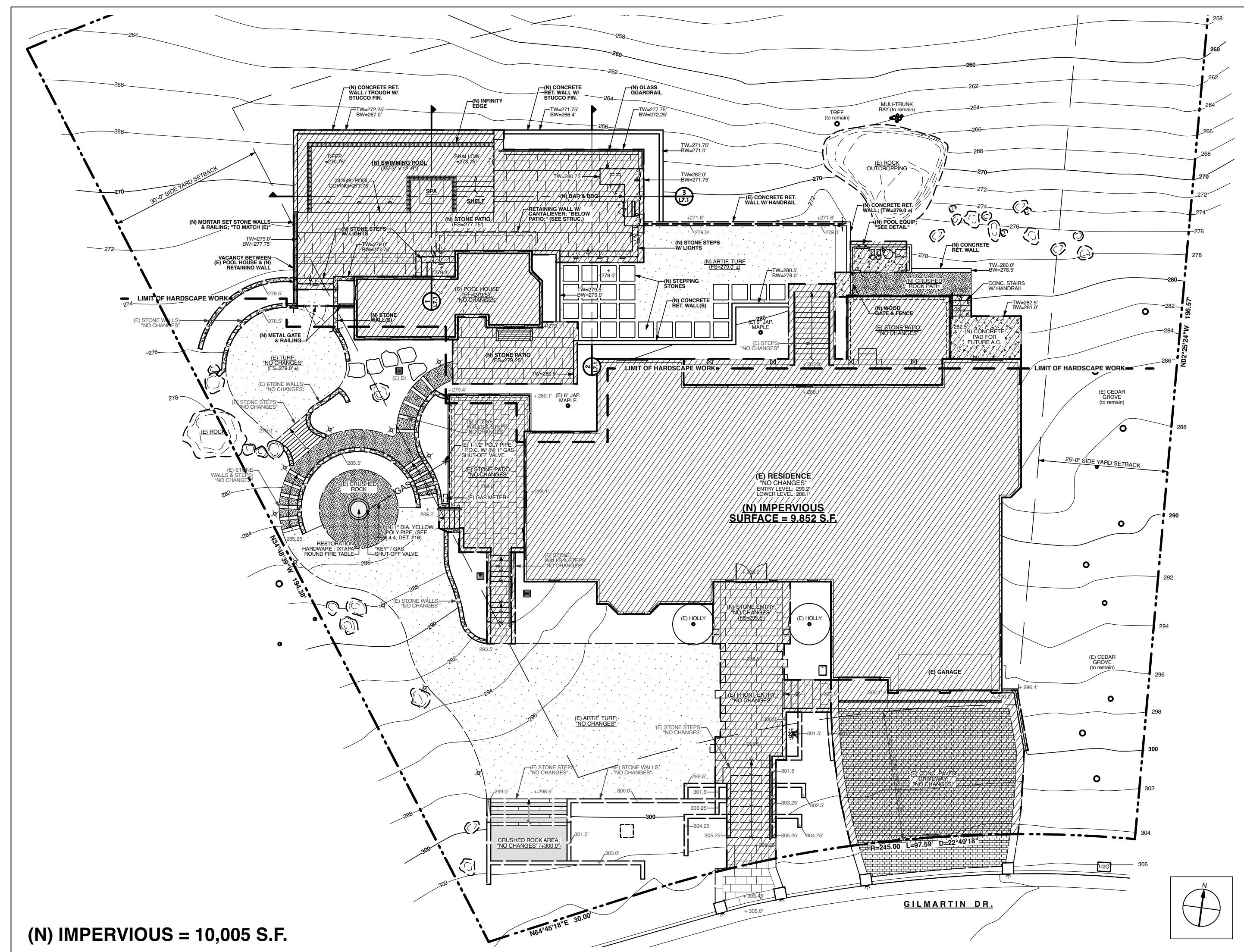
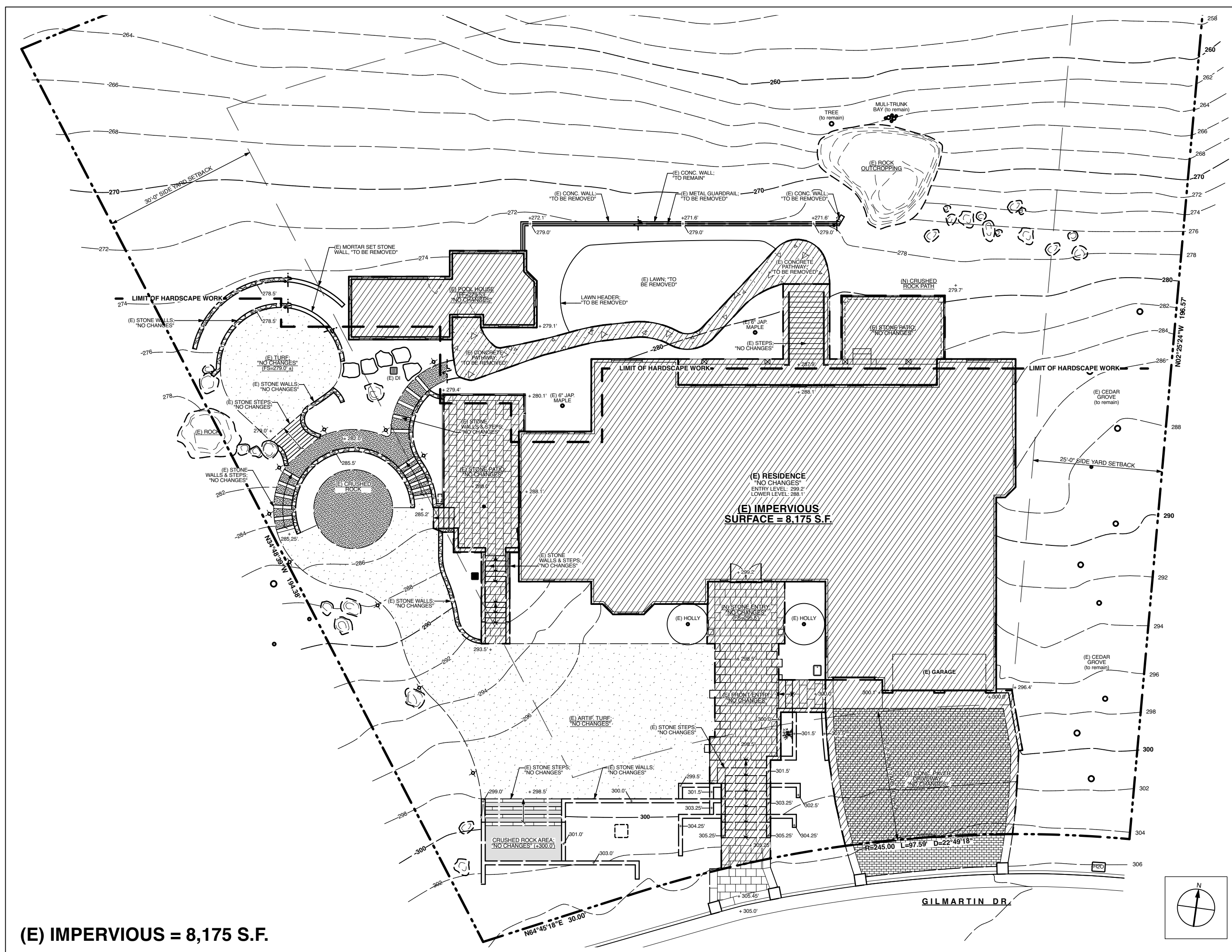
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PROJECT DATE	11.04.2021
DRAWN	EO
JOB #	POSNER
SCALE	3/8" = 1'-0"

LANDSCAPE
DETAILS

SHEET

L6.1

[illegible]

EX

NEW

ASPHALT PAVING (IMPERVIOUS)

EX

NEW

CONCRETE PAVING (IMPERVIOUS)

NEW FLAGSTONE PAVING (IMPERVIOUS)

NEW CONCRETE PAVERS (SEMI-PERVIOUS)

NEW WOOD DECK (PERVIOUS)

PERVIOUS PAVING

PLANTED, LANDSCAPED AREA

GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)

EROSION CONTROL BLANKET

BUILDING ADDITION

AD

AREA DRAIN

OR

DRAINAGE INLET

ROOF LEADER

FIRE HYDRANT

JOINT POLE

GAS METER, ELECTRIC METER

WATER METER

EX TREE

EX TREE DRIPLINE

LEGEND

PROPERTY LINE

EASEMENT LINE

EX WOODEN RET WALL

DRAINAGE DITCH/ BIO-SWALE

UNDISTURBED SOIL

COMPACTED FILL MATERIAL

GEOTEXTILE

EROSION CONTROL BLANKET

TURF REINFORCING MAT

STRAW WATTLE

RUNOFF FLOW DIRECTION

SWALE FLOW DIRECTION

STORMWATER LEVEL SPREADER

BUBBLE-UP DRAINAGE EMITTER

POP-UP DRAINAGE EMITTER

SUBDRAIN END CAP

SUBDRAIN OR STORMWATER CLEANOUT

SUBDRAIN OUTLET

HIDDEN FOUNDATION OR RETAINING WALL

TREE PROTECTION FENCING

CONC RETAINING WALL

SUBDRAIN (PERFORATED PIPE)

STORM DRAIN PIPE

ELECTRICAL OVERHEAD LINE

ELECTRICAL UNDERGROUND

COMMUNICATION OVERHEAD LINE

COMMUNICATION UNDERGROUND

JOINT TRENCH

SANITARY SEWER

WATER LINE

GAS LINE

EDGE OF ROAD

ROOF EAVE

EX FENCE

NEW WIRE FENCE

NEW WOOD FENCE

EXISTING GRADE ELEVATION CONTOUR

FINISHED GRADE ELEVATION CONTOUR

85.5 x

REMOVE EX TREE

DETAIL AND SECTION DESIGNATIONS

SECTION LETTER

SHEET ON WHICH SECTION IS SHOWN

SECTION

SECTION LETTER

SHEET ON WHICH SECTION IS CALLED OUT

DETAIL NUMBER

DETAIL

SHEET ON WHICH DETAIL IS CALLED OUT

UTILITY CONNECTION NOTES:

1. THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.

2. UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:

WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: TIBURON SANITARY DISTRICT

ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)

GAS: PACIFIC GAS AND ELECTRIC (PG&E)

TELEPHONE: AT&T

CABLE: COMCAST

3. INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.

4. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. 1 STANDARDS.

GENERAL NOTES:

1. SITE SURVEY AND TOPOGRAPHIC BASE MAP IMPRINTS.

2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

RETAINING WALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

GREEN BUILDING STANDARDS

1. THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.

2. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

STORMWATER PLAN SUMMARY

EXISTING SITE

PROPOSED SITE DEVELOPMENT PLAN

IMPERVIOUS SURFACES

8,139 SF

9,934 SF

CONCRETE PAVERS (PERVIOUS)

0 SF

0 SF

LANDSCAPE (PERVIOUS)

27,730 SF

25,233 SF

TOTAL LOT AREA

35,167 SF

35,167 SF

STORMWATER NOTES:

1. IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.

2. NEW OR REPLACEMENT IMPERVIOUS AREA IS 2,717 SF.

COVER SHEET

REVISION

0

SHEET NO.

1 OF 6

DRAWING

C-1

LTD Engineering, Inc.

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San Rafael, CA 94903

Tel. 415.446.7402, Cell 415.717.8719

gdearth@LTDengineering.com

OWNER

DAVID POSNER

139 GILMARTIN DRIVE

TIBURON, CALIFORNIA 94920

DATE:

11/4/2021

ISSUED FOR PERMIT

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POSNER RESIDENCE

POOL AND LANDSCAPE

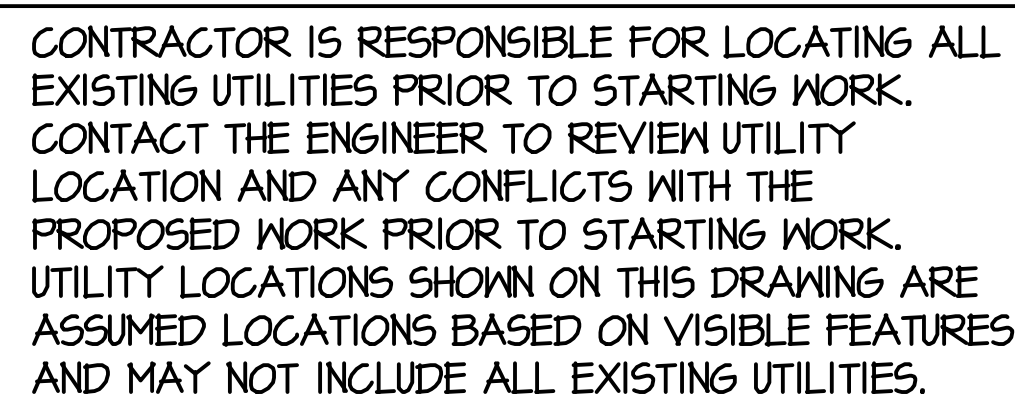
APN 039-290-33

139 GILMARTIN DRIVE

TIBURON, CALIFORNIA

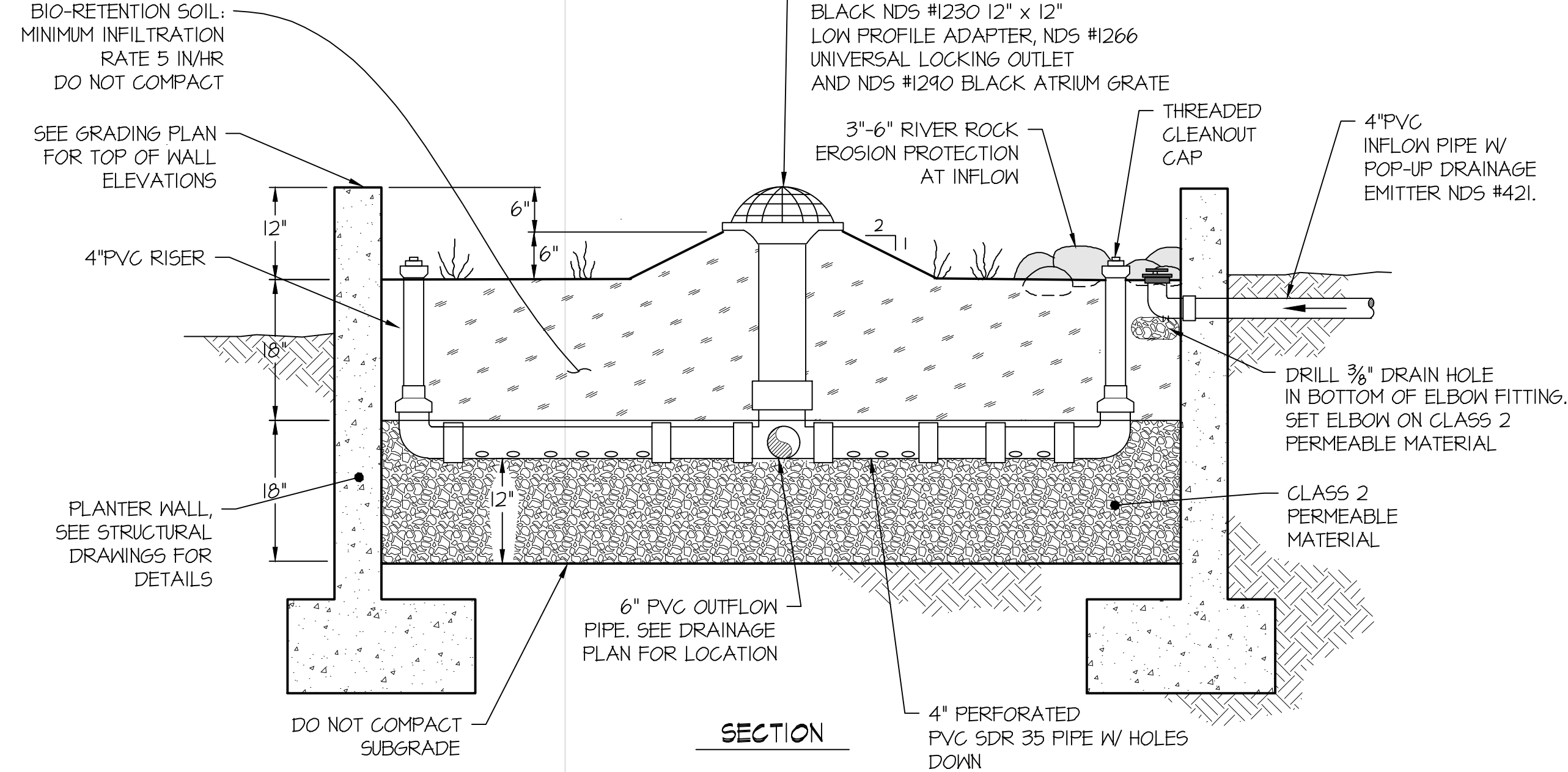
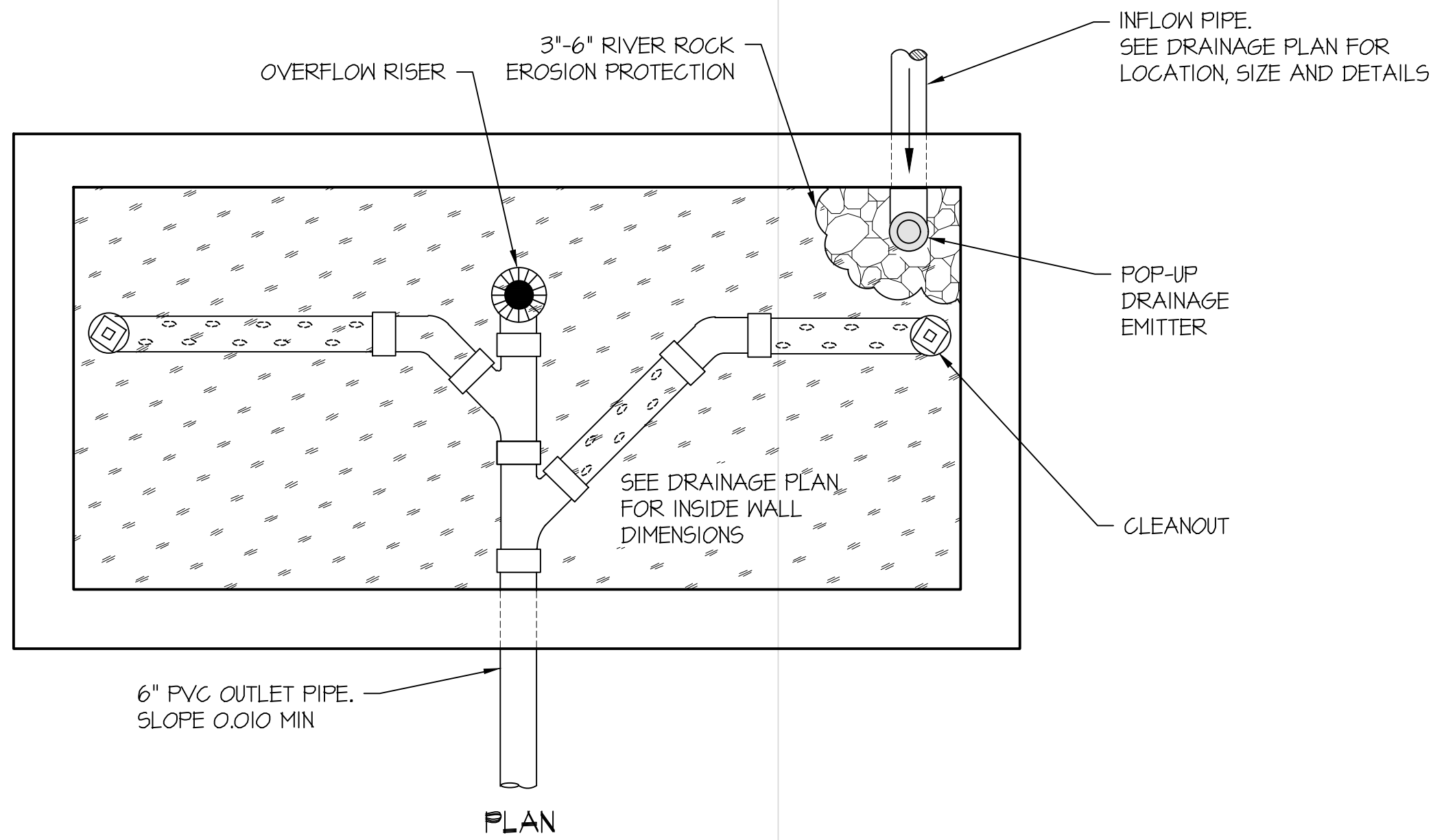
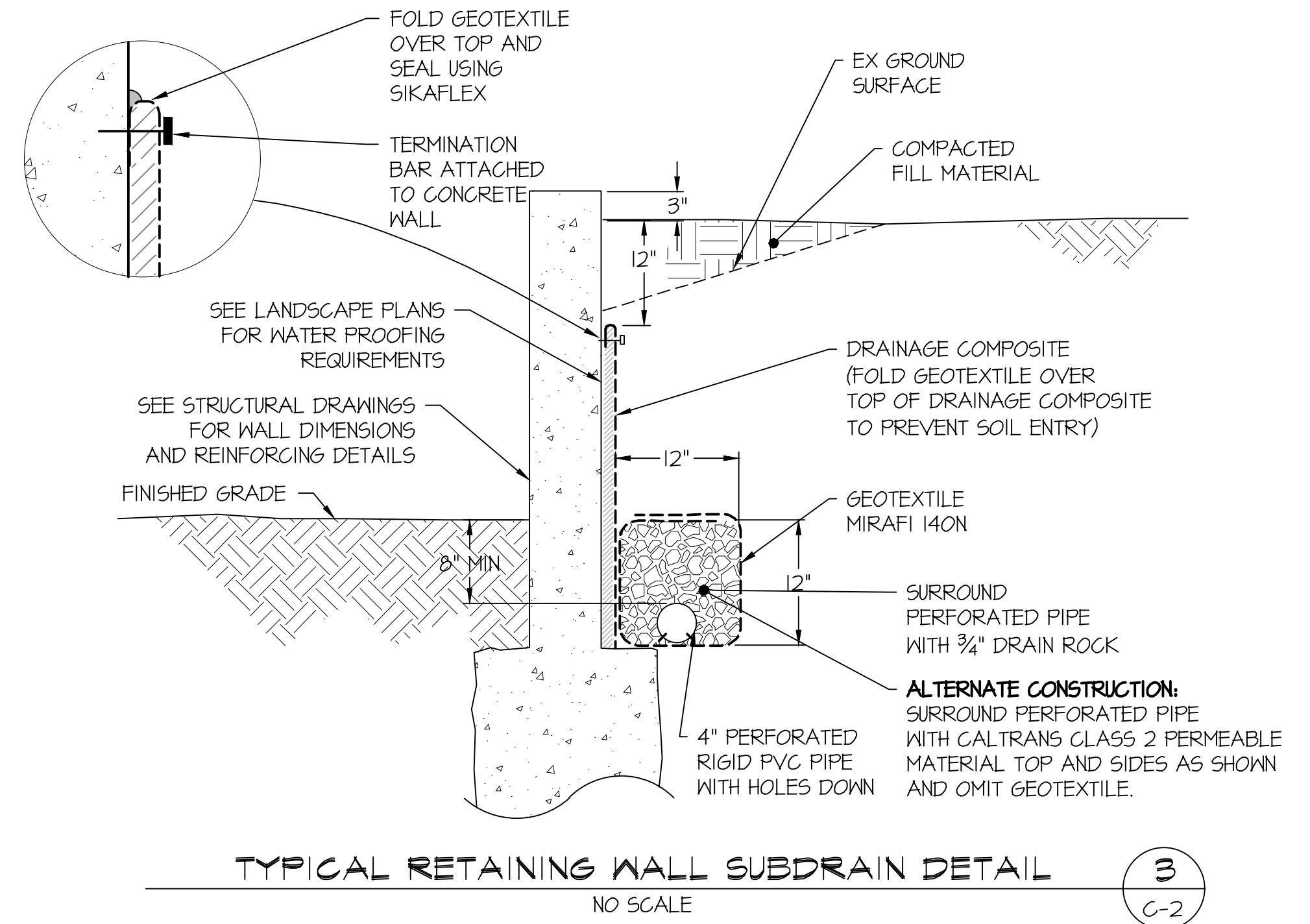
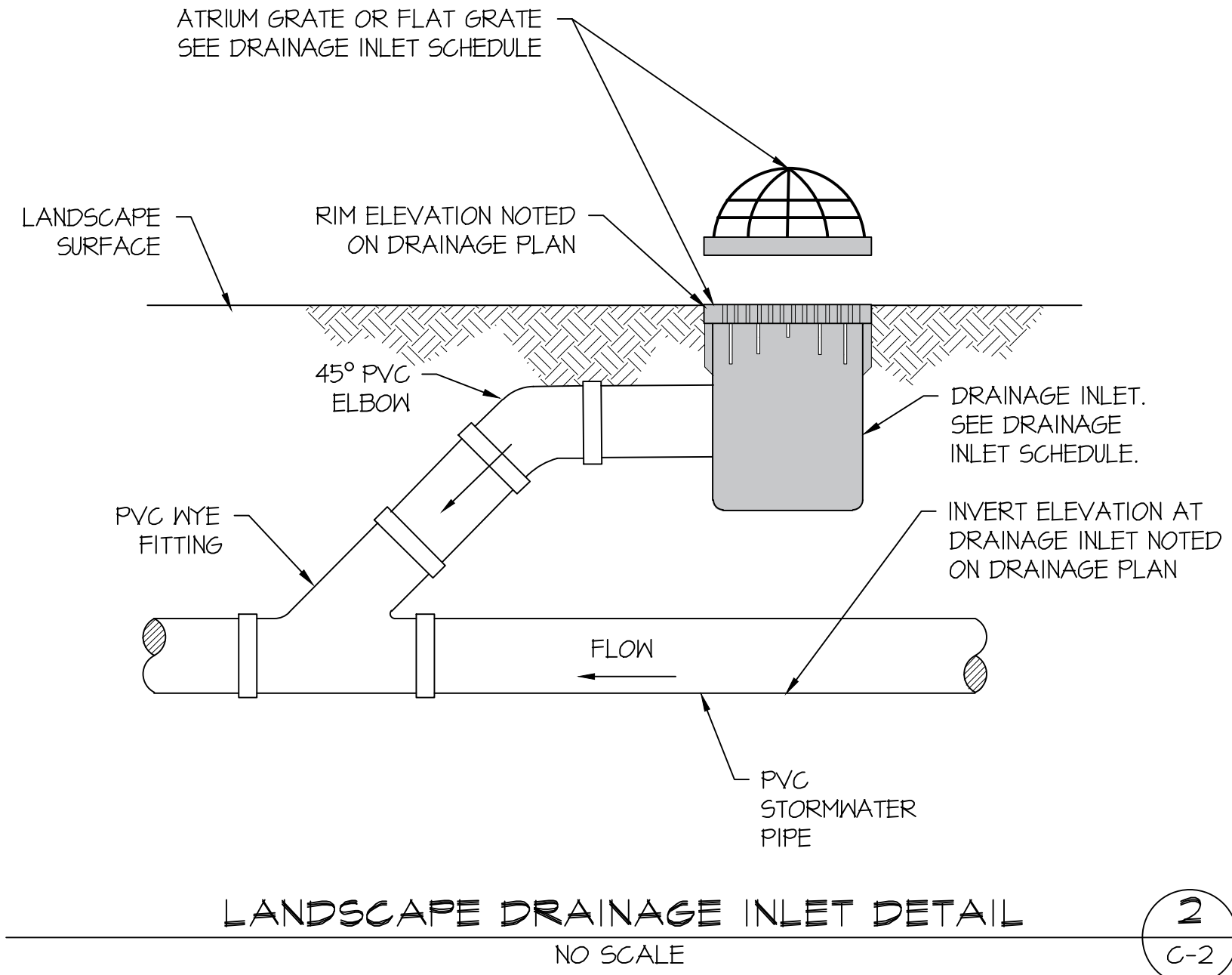
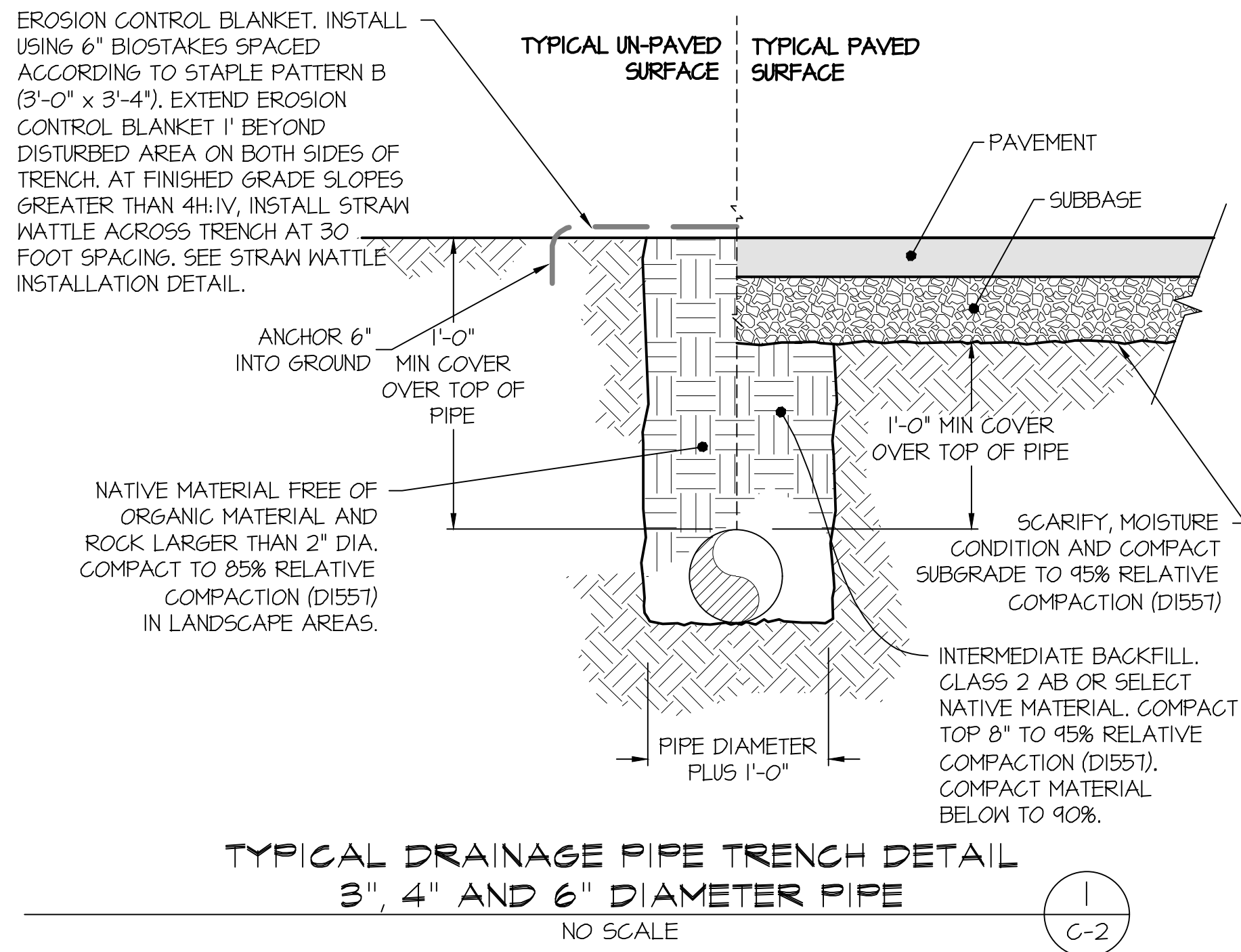


ALTERNATE CONSTRUCTION:
SURROUND PERFORATED PIPE
WITH CALTRANS CLASS 2
PERMEABLE MATERIAL AND
OMIT GEOTEXTILE.

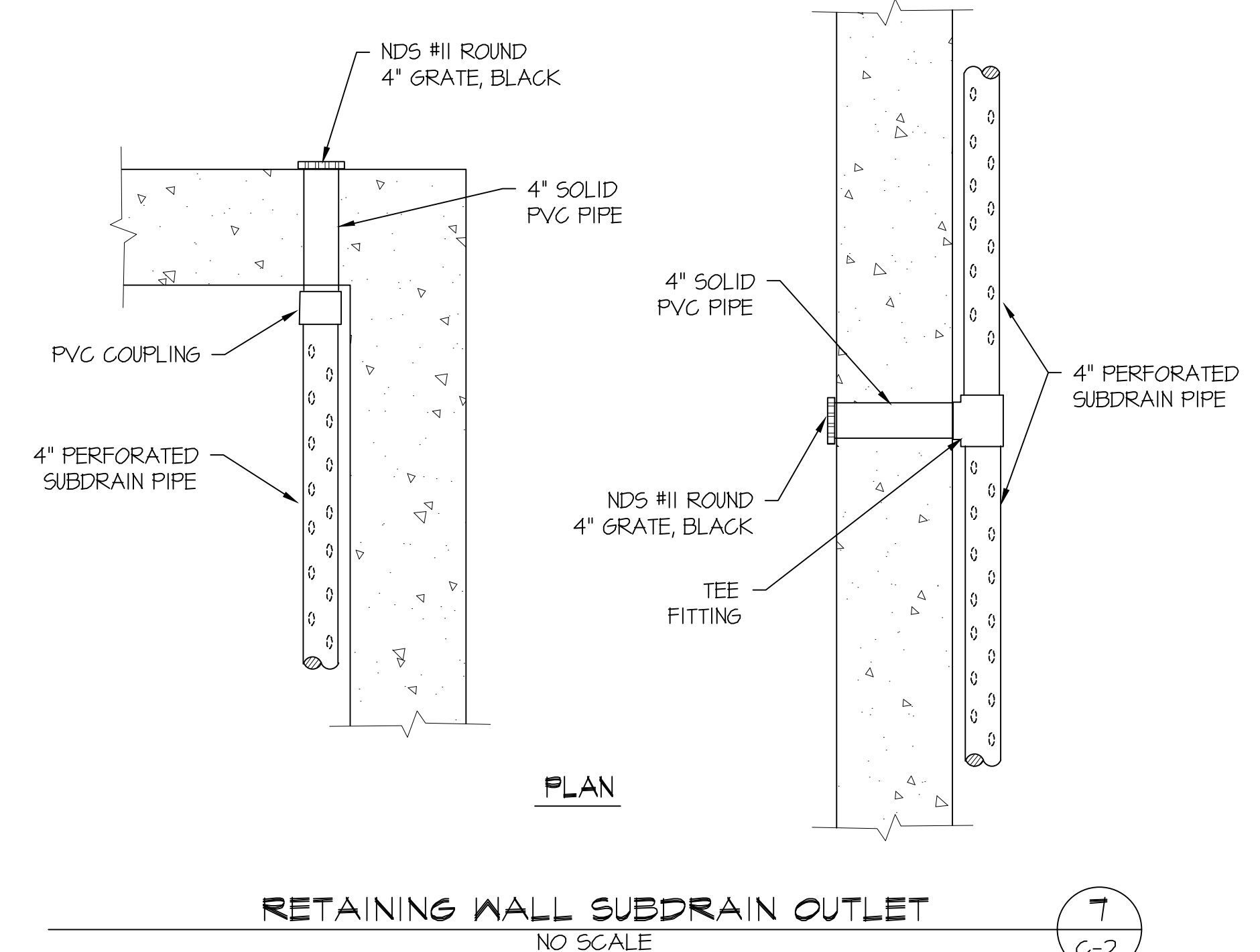
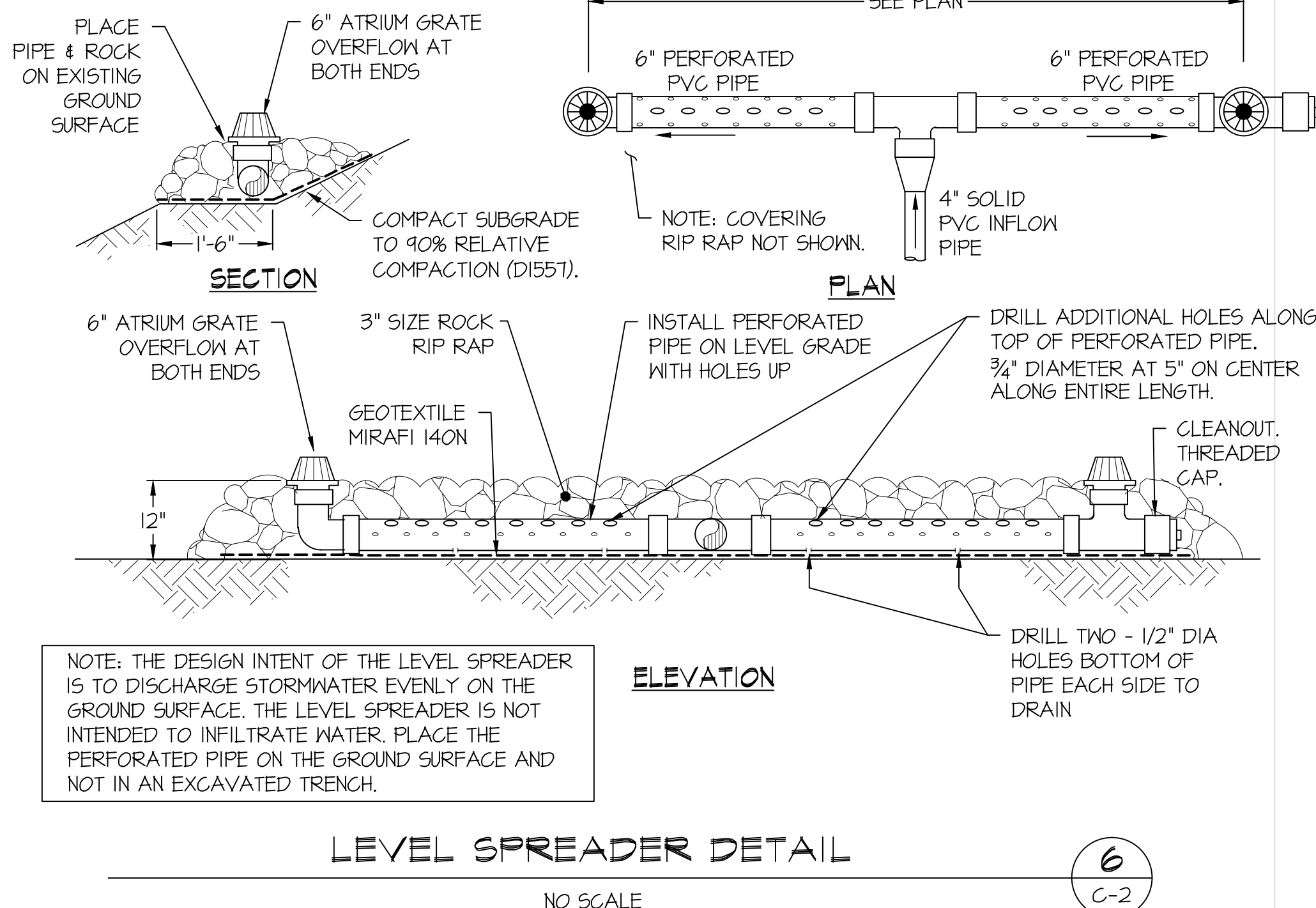
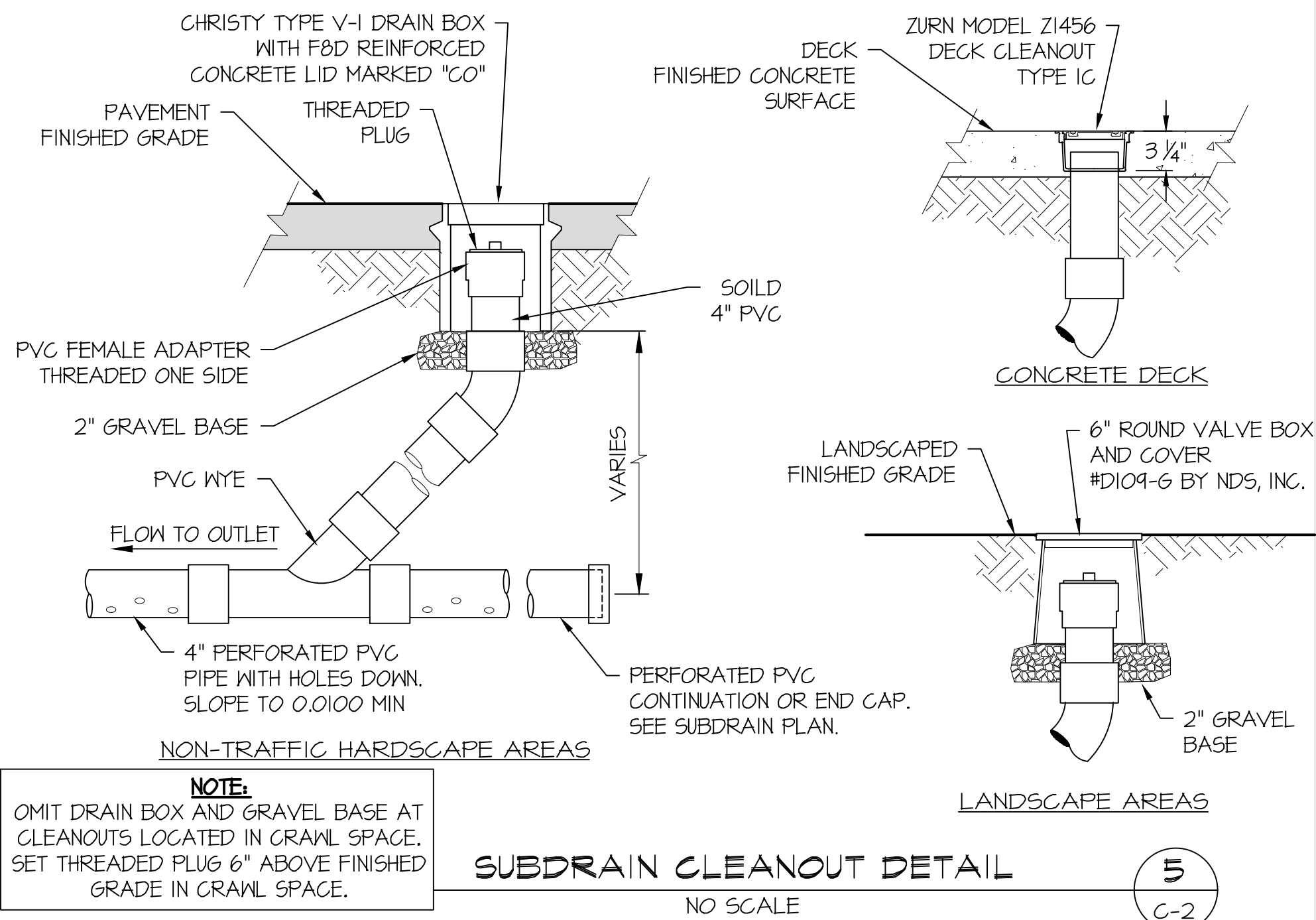


REVISION	0
SHEET NO.	2 OF 6
DRAWING	C-2

C:\CAD\Posner Pool & Landscape Tiburon (676.001) Grading and Drainage\Design\Posner Pool & Landscape Plan.dwg, 11/14/2021 2:14:16 PM

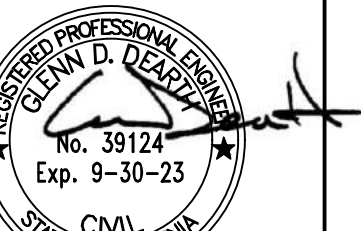


BIO-RETENTION BASIN DETAIL



LTD Engineering, Inc.
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San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER
DAVID POSNER
139 GILMARTIN DRIVE
TIBURON, CALIFORNIA 94920



DATE: 11/4/2021

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POSNER RESIDENCE
POOL AND LANDSCAPE
APN 039-290-33
139 GILMARTIN DRIVE
TIBURON, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
Δ	11/4/21	ISSUED FOR BUILDING PERMIT
Δ		
Δ		
Δ		
Δ		
Δ		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: AS SHOWN
DATE: 11/4/2021 PROJECT NO. 616.001

DETAILS

REVISION 0
SHEET NO. 3 OF 6
DRAWING C-3

REFER TO THE CONSTRUCTION CODES AND STANDARDS FOR ADDITIONAL MATERIAL SPECIFICATIONS AND CONSTRUCTION REQUIREMENTS.

PROVIDE MATERIALS AND COMPLETE ALL CONSTRUCTION WORK IN ACCORDANCE WITH THE FOLLOWING CONSTRUCTION CODES & STANDARDS.

1. Town of Tiburon Grading and Drainage Permit.

2. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS BEFORE STARTING CONSTRUCTION.

I. Civil Engineer contact information:

16. Locate construction materials, equipment, vehicles, and debris boxes to minimize obstruction of roads and gutters. Maintain debris boxes in a clean and safe condition and do not let them become a nuisance to the neighborhood. Empty debris boxes on a regular basis. Cover material stock piles and debris boxes when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes cannot be placed off-site without an encroachment permit.
17. The construction site is located in a midland-urban interface area. All construction equipment used on the site must have an approved spark arrester. Cut grass and remove fuel around the construction site where vehicles and equipment are parked. Avoid use of mechanical equipment during hot, dry, windy weather. Provide a water supply for fire suppression. Smoking is prohibited on the construction site. Maintain working ABC fire extinguishers on all vehicles.

1. Provide all temporary drainage piping and drainage swales necessary to collect and safely discharge stormwater runoff during construction. Create dry working conditions and maintain continuously until structures have been constructed, grading has been completed and fill materials have been placed, or until denaturing is no longer required. Maintain temporary drainage operations to ensure erosion is controlled, stability of excavations and constructed slopes is maintained, and flooding of excavation and damage to structures is prevented. Remove temporary drainage system from project site after completion of the work.

- ## SWIMMING POOL AND SPA DRAINAGE NOTES

1. DO NOT CONNECT THE SWIMMING POOL OR SPA DRAIN TO THE PIPED STORMWATER DRAINAGE SYSTEM. Swimming pool and spa water discharge into a watercourse or a stormwater drainage system is prohibited under Marin Municipal Code (MCC) 23.18.044, Urban Runoff Pollution Prevention.
2. Connect the swimming pool and spa drain to the sanitary sewer system or discharge swimming pool and spa water to landscape areas.
3. Saltwater swimming pools and spas cannot be connected to the sanitary sewer system. Saltwater swimming pools and spas must discharge to landscape areas.
4. Swimming pool and spa drains connected to the sanitary sewer system must comply with Tiburon Sanitary District standards. Discharge to the sanitary sewer system requires a permit, inspection and compliance with District Standard Specifications and Drawings. The discharge pipe cannot be larger than 2 inches. The hydraulic head on the discharge pipe must not exceed 20 feet and the discharge flow rate cannot exceed 100 gpm. Equipment must be installed to prevent sewage backflow.
5. Swimming pool and spa water (other than salt water) discharged to landscape must be dechlorinated/debrominated and the pH adjusted to between 6.5 and 8.5. The land area must be sufficient to prevent erosion and runoff into a ditch, creek or other stormwater conveyance system.
6. Refer to the Marin County Stormwater Pollution Prevention Program's website, www.mcstopp.org, for swimming pool discharge requirements under the heading @Resources for: General Public, Swimming Pools & Spas."

1. The location of existing underground utilities or improvements has not been verified by the Engineer and no guarantee is made as to the accuracy or completeness of information shown on the drawings. The Construction Contractor must notify utility companies at least two

Obtain a Grading Permit from the City of Tiburon prior to initiating any on-site grading work.

- Maximum excavated slope: 2H:1V, or as approved by the project Geotechnical Engineer.



EROSION CONTROL & STORMWATER POLLUTION PREVENTION

1. COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITIES AS REQUIRED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE TOWN OF TIBURON. IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR EROSION CONTROL AND STORMWATER POLLUTION PREVENTION. COMPLY WITH ALL REQUIREMENTS OF THE PROJECT EROSION CONTROL PLAN AND THE PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK (CALIFORNIA STORMWATER QUALITY ASSOCIATION, www.cabmphandbooks.com) AND THE PROJECT EROSION CONTROL PLAN.
3. PRIOR TO OCTOBER 1ST, INSTALL EROSION CONTROL AND STORMWATER POLLUTION PREVENTION MEASURES NECESSARY TO MINIMIZE EROSION, CONTAIN ERODED SEDIMENT ON-SITE AND PREVENT POLLUTION OF STORMWATER RUNOFF.
4. REGULARLY MONITOR EROSION CONTROL AND MEASURES BETWEEN OCTOBER 15TH AND APRIL 1ST. PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE PROJECT EROSION CONTROL PLAN.
5. REGULARLY MONITOR STORMWATER POLLUTION PREVENTION MEASURES YEAR-AROUND THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE STORMWATER POLLUTION PREVENTION MEASURES AS REQUIRED BY THE PROJECT STORMWATER POLLUTION PREVENTION PLAN.
6. VISIT THE MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM (MCSTOPPP) WEBSITE FOR ADDITIONAL RESOURCES AND GUIDANCE ON EROSION CONTROL AND STORMWATER POLLUTION PREVENTION: <http://mcstoppp.org/hexdevresources.htm>
7. SEE LANDSCAPE DRAWINGS FOR PERMANENT EROSION CONTROL AND SITE RESTORATION PLANTING.

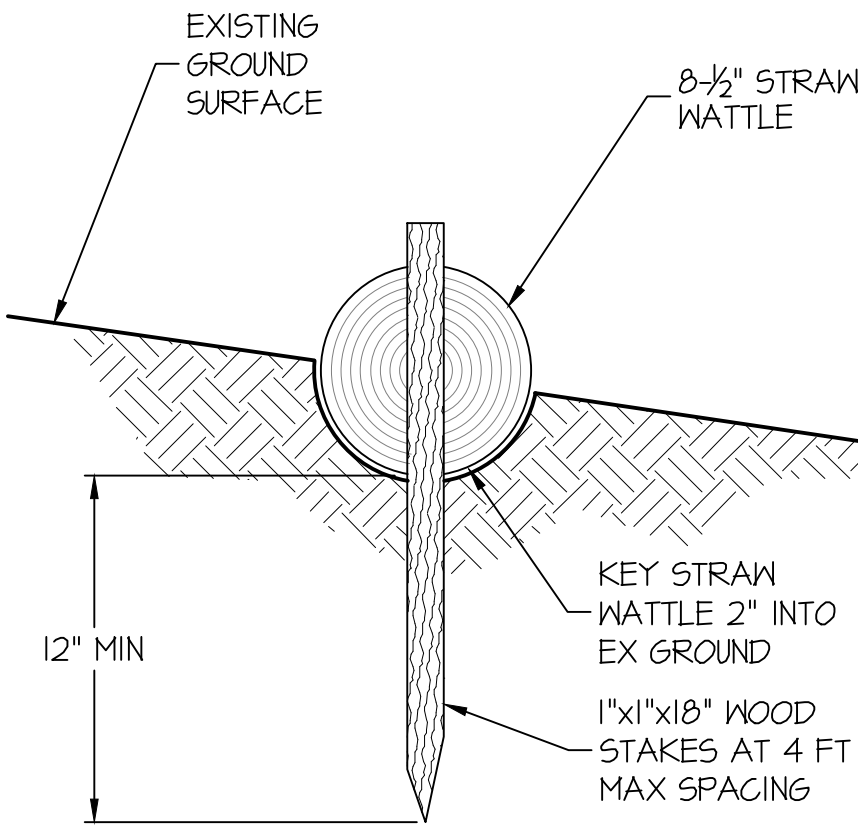
PREDICTED RAINFALL PREPARATION

STOCKPILE STRAW WATTLE, TARPS AND OTHER EROSION AND SEDIMENT CONTROL MATERIALS ON-SITE YEAR ROUND AND READY FOR INSTALLATION.

INSTALL, INSPECT AND REPAIR EROSION CONTROL AND STORMWATER POLLUTION PREVENTION MEASURES PRIOR TO PREDICTED RAINFALL.

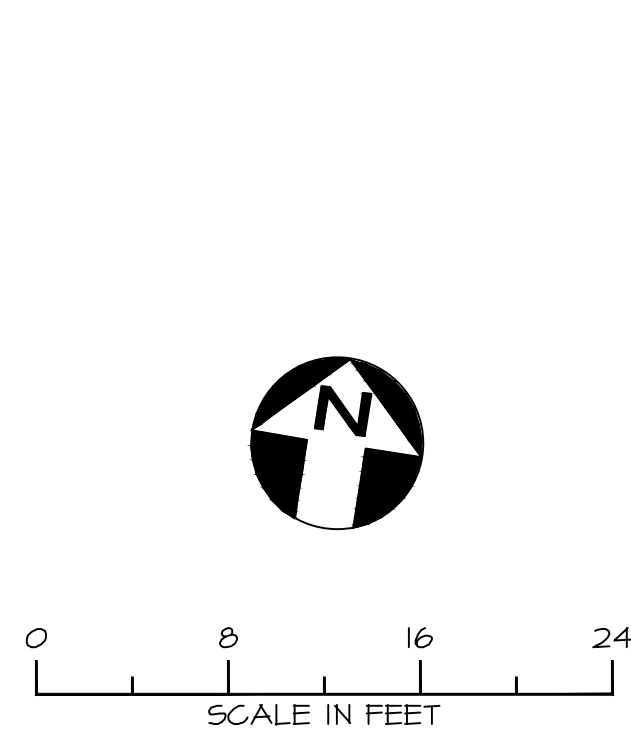
1. INSTALL TEMPORARY DRAINAGE PIPING
2. INSPECT AND REPAIR ALL TEMPORARY EROSION CONTROL MEASURES
3. INSPECT, CLEAN AND REPAIR SEDIMENT TRAPS AND STRAW WATTLES
4. INSTALL STOCKPILE COVERS AND STRAW WATTLE
5. PLACE ALL HAZARDOUS MATERIALS IN STORAGE AND PROTECT FROM RAINFALL
6. PLACE ALL DEBRIS AND WASTE MATERIALS IN DISPOSAL BINS
7. COVER WASTE DISPOSAL BINS WITH WATERPROOF TARPS

SEE EROSION CONTROL MONITORING AND MAINTENANCE TABLE FOR FURTHER REQUIREMENTS



STRAW WATTLE DETAIL

NO SCALE



SITE RESTORATION

SEE LANDSCAPE PLANS FOR PERMANENT SITE RESTORATION AND EROSION CONTROL DETAILS.

EROSION CONTROL REQUIREMENTS

CONTRACTOR SHALL INSTALL EROSION CONTROL AND WATER COURSE PROTECTION MEASURES PRIOR TO DISTURBING THE SITE, AND SHALL INSPECT, REPAIR OR REPLACE PROTECTION MEASURES AS NEEDED TO REMAIN EFFECTIVE THROUGHOUT THE DURATION OF THE WORK.

STRAW WATTLE SPACING

GROUND SURFACE SLOPE	HORIZONTAL SPACING
4:1 OR FLATTER	20 FT.
BETWEEN 4:1 AND 2:1	15 FT.
2:1 OR STEEPER	10 FT.

LIMIT OF DISTURBANCE

NEW POOL

EX POOL HOUSE

EX RESIDENCE

INSTALL STRAW WATTLE DURING CONSTRUCTION

TREE (to remain)

MULI-TRUNK BAY (to remain)

STRAW WATTLE

LIMIT OF DISTURBANCE

CONSTRUCTION ACCESS

CONCRETE WASHOUT AREA. INSTALL TEMPORARY CONTAINMENT BASIN

(E) CEDAR GROVE (to remain)

PORTABLE TOILET WITH DOUBLE CONTAINMENT

MAINTAIN EX DRIVEWAY PAVING DURING CONSTRUCTION. SWEEP REGULARLY TO REMOVE SEDIMENT AND DEBRIS

LTD Engineering, Inc.
1050 Northgate Drive, Suite 450
San Rafael, CA 94903
Tel. 415.446.7402 Cell 415.717.8719
gdearth@LTDengineering.com

OWNER

DAVID POSNER
139 GILMARTIN DRIVE
TIBURON, CALIFORNIA 94920



DATE: 11/4/2021

ISSUED FOR PERMIT

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POSNER RESIDENCE
POOL AND LANDSCAPE

APN 039-290-33
139 GILMARTIN DRIVE
TIBURON, CALIFORNIA

REVISIONS

NO.	DATE	DESCRIPTION
1	11/4/21	ISSUED FOR BUILDING PERMIT
2		
3		
4		
5		

DESIGNED BY: G. DEARTH

DRAWN BY: E. HAYDEN

APPROVED BY:

SCALE: 1" = 8'-0"

DATE: 11/4/2021 PROJECT NO. 616.001

EROSION CONTROL PLAN

REVISION	0
SHEET NO.	5 OF 6
DRAWING	C-5

GENERAL NOTES

1. DESIGN LOADS PER CBC 2019: LIVE LOAD: ROOF 20 #/SQ.FT.
FLOOR 40 #/SQ.FT.
GROUND SNOW LOAD Pg: 0 #/SQ.FT.
- GEOTECHNICAL DESIGN INFORMATION: BEARING PRESSURE N/A (PIER SUPPORTED)
- DESIGN DATA WIND: BASIC WIND SPEED $V_{ult} = 110$ MPH $V_{osd} = 85$ MPH
RISK CATEGORY II
EXPOSURE = B URBAN AND SUBURBAN AREAS
INTERNAL PRESSURE COEFF. = N.A.
COMPONENTS AND CLADDING = 10 #/SQ.FT.
- SEISMIC DESIGN DATA IMPORTANCE FACTOR $I_s = 1.0$
OCCUPANCY CATEGORY II
MAPPED SPECTRAL RESPONSE ACCELERATION $S_s = 1.5g$ $S_1 = 0.6g$
SITE CLASS B
SPECTRAL RESPONSE COEFFICIENTS $S_{os} = 1.2g$ $S_{o1} = 0.6g$
SEISMIC DESIGN CATEGORY D
LATITUDE = 37° 53' 34" LONGITUDE = 122° 28' 05"
- BASIC SEISMIC — FORCE — RESISTING SYSTEM
RIGID NON-BUILDING STRUCTURE
 $V_e = 0.3 S_{os} W_e$
 $S_{os} = 1.0$ $I_e = 1.0$ $V_e = 0.3W$
 $V_{eASD} = 0.3(0.7)W = 0.21W$

ALL WORK SHALL COMPLY WITH THE CODES AND REGULATIONS OF THE TOWN OF TIBURON AND THE FOLLOWING STATE ADOPTED CODES:

- THE 2019 CALIFORNIA RESIDENTIAL CODE EXCEPT AS LIMITED BY SECTION R301.1.3
THE 2019 CALIFORNIA BUILDING CODE AND THE ADOPTED SECTIONS OF THE 2018 INTERNATIONAL BUILDING CODE
THE 2019 CALIFORNIA MECHANICAL CODE AND ADOPTED SECTIONS OF THE 2018 UNIFORM MECHANICAL CODE
THE 2019 CALIFORNIA PLUMBING CODE AND THE ADOPTED SECTIONS OF THE 2018 UNIFORM PLUMBING CODE
THE 2019 CALIFORNIA ELECTRICAL CODE AND THE ADOPTED SECTIONS OF THE 2017 NATIONAL ELECTRICAL CODE
THE 2019 CALIFORNIA FIRE CODE AND THE ADOPTED SECTIONS OF THE 2018 INTERNATIONAL FIRE CODE
THE 2019 CALIFORNIA ENERGY CODE
THE 2019 CALIFORNIA GREEN BUILDING STANDARDS
THE 2019 UNIFORM SWIMMING POOL, SPA AND HOT TUB CODE
AND OTHER APPLICABLE SECTIONS OF THE TOWN OF TIBURON MUNICIPAL CODE
2. BEFORE COMMENCING WORK CONTRACTOR SHALL VERIFY OR DETERMINE IN THE FIELD ALL PERTINENT DIMENSIONS AND DETAILS. ANY CONFLICT OR INTERFERENCE AFFECTING THE NEW OR EXISTING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.
3. ALL WORKMANSHIP SHALL CONFORM TO THE BEST PRACTICE IN MODERN CONSTRUCTION

GEOTECHNICAL NOTES

1. THE CONTRACTOR SHALL FOLLOW ALL THE RECOMMENDATIONS SET FORTH IN THE JULY 26, 2021 GEOTECHNICAL MEMORANDUM PROVIDED BY CALIFORNIA ENGINEERING CO.
903 VENTURA AVE.
BERKELEY, CA 94707
PH. (510) 525-1495
- INCLUDING BUT NOT LIMITED TO GRADING, BACKFILLING AND DRAINAGE.
2. THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE FOLLOWING INSPECTIONS:
A. PIER DRILLING OPERATION
B. GRADING, EXCAVATION AND BACK FILLING
C. DRAINAGE
- A LETTER WET STAMPED AND SIGNED BY THE GEOTECHNICAL ENGINEER STATING THAT ALL WORK REQUIRING INSPECTIONS MEET THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT SHALL BE SENT TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT.

CONCRETE NOTES

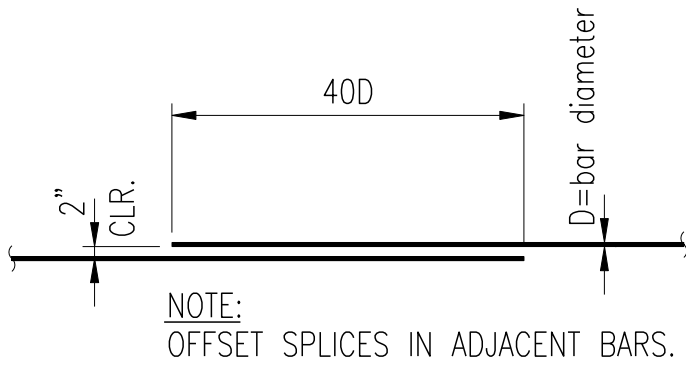
1. ALL CONCRETE USED ON THIS PROJECT SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- PLAN CHECKER NOTE: STRUCTURAL CALCULATIONS FOR ALL CONCRETE EXCEPT CONCRETE USED IN DRILLED PIERS WERE BASED ON 2500 PSI CONCRETE AND THEREFORE NO SPECIAL INSPECTION REQUIREMENTS ARE NEEDED. CONCRETE USED IN DRILLED PIERS SHALL BE TESTED AS NOTED IN THE SPECIAL INSPECTION REQUIREMENTS.
2. REINFORCING STEEL SHALL CONFORM TO ASTM 615 AND SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN CONCRETE INSTITUTE AND THESE DRAWINGS. #4 GRADE 40, #5 AND LARGER GRADE 60.
3. REINFORCEMENT SHALL BE PLACED AS SHOWN ON THE DRAWINGS AND SHALL BE TIED AND SUPPORTED SO THAT IT WILL NOT BE DISPLACED FROM THE PROPER POSITION BY SUBSEQUENT CONSTRUCTION OPERATIONS.
4. CONCRETE SHALL BE PLACED AS CLOSELY AS POSSIBLE TO ITS FINAL LOCATION AND SHALL BE CONSOLIDATED BY THE USE OF MECHANICAL VIBRATORS.
5. CONSTRUCTION JOINTS IN CONCRETE SLAB ON GRADE SHALL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. SLAB REINFORCEMENT SHALL BE CONTINUOUS THROUGH THE JOINT. ALL HORIZONTAL CONSTRUCTION JOINTS SHALL BE CLEANED AND ROUGHENED TO EXPOSE AGGREGATE EMBEDDED IN MORTAR MIXTURE BY CHIPPING AND SANDBLASTING 5 DAYS MINIMUM AFTER INITIAL PLACEMENT, OR BY HOSE WASHING BETWEEN 2 AND 4 HOURS AFTER CONCRETE PLACEMENT.
6. ALL FOUNDATION BOLTS (ANCHOR, HOLD DOWNS, ETC) SHALL BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE.

INSPECTIONS BY ENGINEER OF RECORD

1. PRIOR TO CALLING FOR INSPECTIONS BY THE LOCAL BUILDING INSPECTOR, THE CONTRACTOR SHALL IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE SECTION 1704.6 HAVE THE ENGINEER OF RECORD PROVIDE STRUCTURAL OBSERVATION AND INSPECTION FOR THE FOLLOWING ITEMS:
A. REINFORCING STEEL
- THE ENGINEER SHALL SUBMIT A STATEMENT, IN WRITING, TO THE BUILDING OFFICIAL STATING THAT THE REQUIRED SITE VISITS HAVE BEEN MADE AND WHETHER OR NOT ANY OBSERVED DEFICIENCIES HAVE BEEN CORRECTED TO CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS OR TO REVISED DETAILS APPROVED BY THE BUILDING OFFICIAL.
- STRUCTURAL OBSERVATION, WHEN REQUIRED, DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS OR OTHER INSPECTIONS REQUIRED BY CODE.

SPECIAL INSPECTIONS

1. SPECIAL INSPECTION AND TESTING BY AN INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE SECTION 1704 SHALL BE PAID FOR BY THE OWNER AND SCHEDULED BY THE CONTRACTOR FOR THE FOLLOWING ITEMS:
A. CONTINUOUS INSPECTION FOR PLACEMENT OF CONCRETE FOR DRILLED PIERS. (BY INDEPENDENT INSPECTOR)
B. TAKE TEST CYLINDERS, PERFORM SLUMP TEST AND DETERMINE CONCRETE TEMPERATURE OF CONCRETE USED IN DRILLED PIERS. (BY INDEPENDENT INSPECTOR)
C. CONTINUOUS INSPECTION FOR PLACEMENT OF SHOTCRETE/GUNITE. (BY INDEPENDENT INSPECTOR)
D. PREPARATION OF TEST PANELS FOR SHOTCRETE/GUNITE AND PERFORM COMPRESSION TESTS. (BY INDEPENDENT INSPECTOR)
E. PERIODIC INSPECTION FOR EPOXY SET REINFORCING STEEL (NO PULL TESTS REQUIRED). (BY ENGINEER OF RECORD AS ALLOWED IN EXCEPTION 1 OF CBC SECTION 1704.2)
- A LETTER SIGNED BY THE SPECIAL INSPECTOR STATING THAT ALL WORK REQUIRING SPECIAL INSPECTION MEET THE REQUIREMENTS OF THE APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE SENT TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT.



LAP SPlice

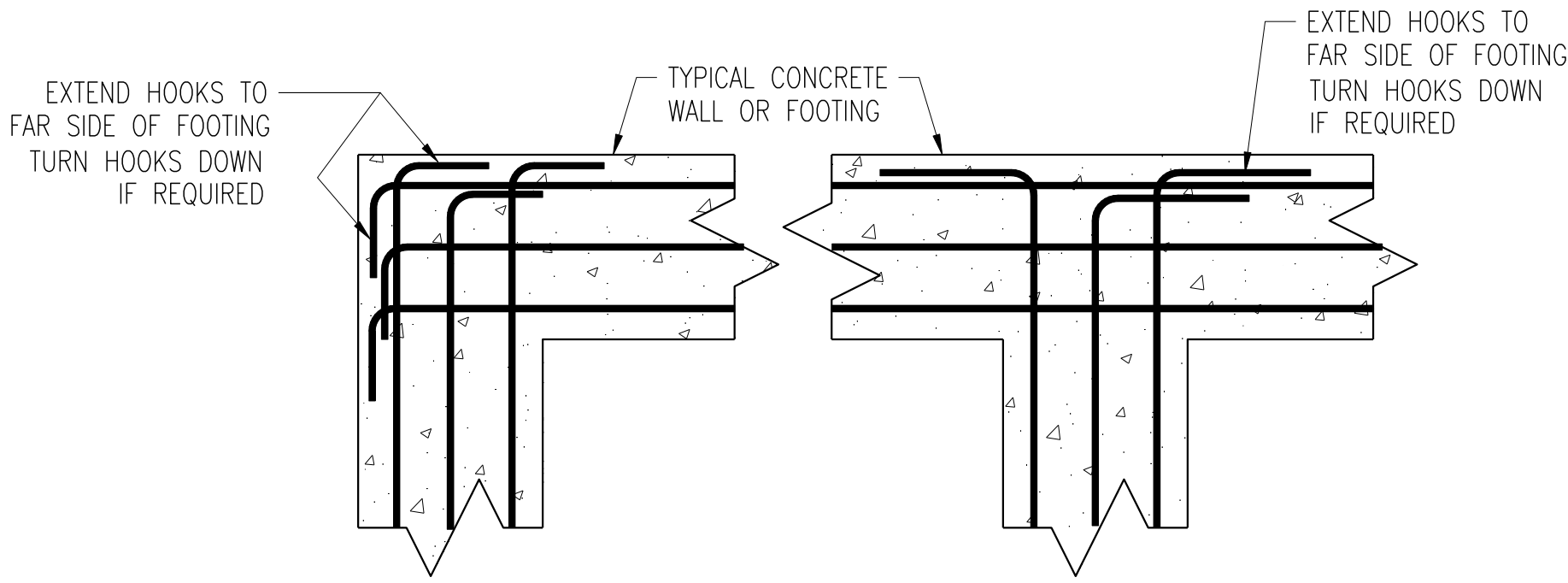
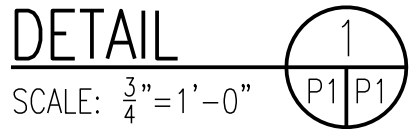
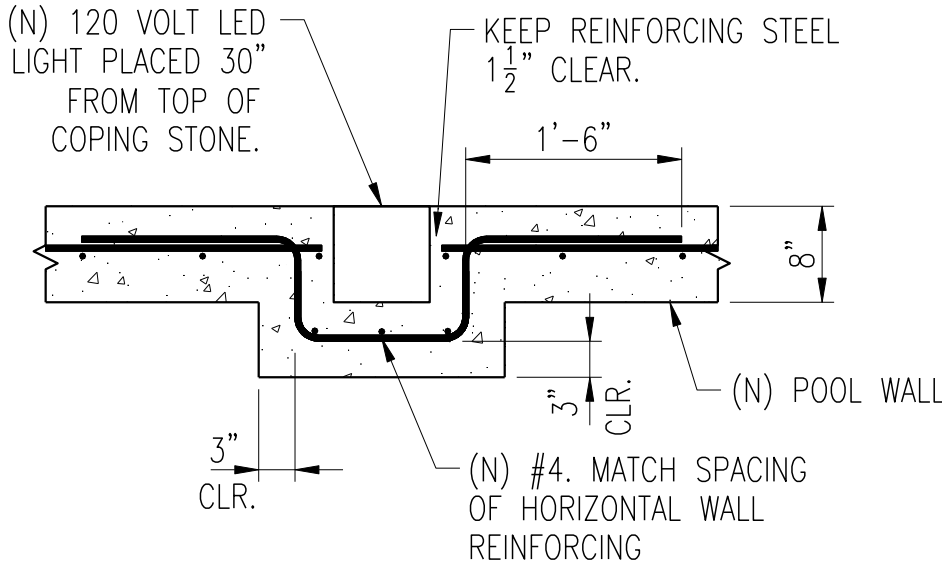
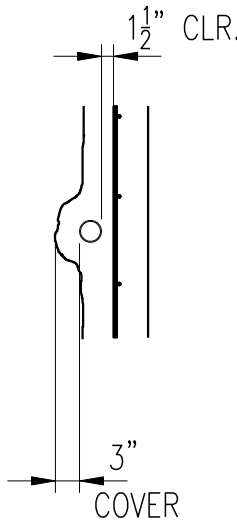
TYPICAL SHOTCRETE REINFORCING DETAIL

SHOTCRETE NOTES:

1. COARSE AGGREGATE, IF USED, SHALL NOT EXCEED $\frac{3}{4}$ ".
2. SHOTCRETE SHALL CONFORM TO CBC SECTION 1924.
3. SPECIAL INSPECTIONS PER CBC TABEL 1705.3 ITME 7 AND SECTION 1910.5 AND 1910.10 SHALL BE PROVIDED FOR SHOTCRETE. REPORTS SHALL BE SENT TO ENGINEER OF RECORD AND BUILDING OFFICIAL.

NOTE:

1. COORDINATE EXCAVATION AND POOL DRAINAGE REQUIREMENTS WITH GEOTECHNICAL ENGINEER OF RECORD.
2. CONTRACTOR TO COORDINATE INSTALLATION AND REQUIREMENTS FOR LIGHTING, POOL EQUIPMENT PLUMBING, ELECTRICAL AND ALL OTHER NON-STRUCTURAL ITEMS NOT SHOWN. PROVIDE A MINIMUM OF $1\frac{1}{2}$ " CLEARANCE AROUND ALL PIPING.
3. COORDINATE DETAILS AND ELEVATIONS OF SITE WORK AND POOL WITH ARCHITECTS DRAWINGS.
4. SOIL PREPARATION FOR SITE IMPROVEMENTS SUPPORTED ON GRADE SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL REPORT.

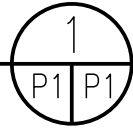


TYPICAL CORNER

TYPICAL INTERSECTION

TYPICAL FOOTING AND WALL INTERSECTION

SCALE: $\frac{3}{4}$ "=1'-0"

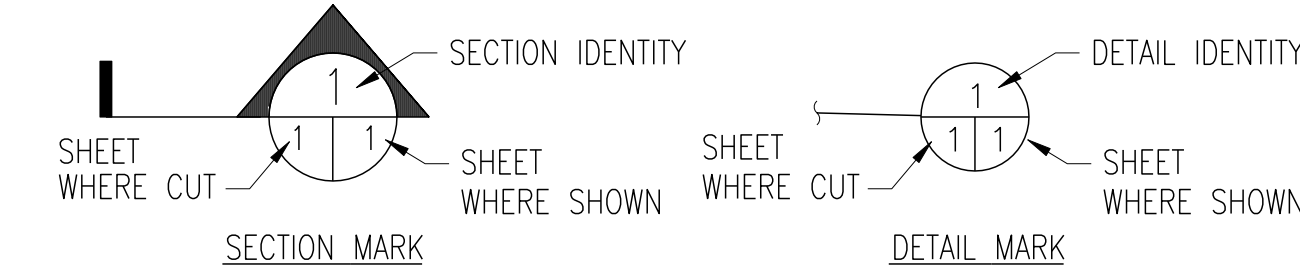


ABBREVIATIONS

@	AT	EA.	EACH	P.T.	PRESSURE TREATED
A.B.	ANCHOR BOLT	EMBED.	EMBEDMENT	REINF.	REINFORCEMENT
ARCH.	ARCHITECT	FTG.	FOOTING	REQ'D.	REQUIRED
BLKG.	BLOCKING	GA.	GAGE, GAUGE	SIM.	SIMILAR
C.W.A.	CONC. WEDGE ANCHOR	HD	HOLDOWN	SHTG.	SHEATHING
CONC.	CONCRETE	M.B.	MACHINE BOLT	STD.	STANDARD
CTRS.	CENTERS	MAX.	MAXIMUM	STIFF.	STIFFENER
DET.	DETAIL	MIN.	MINIMUM	THR'D.	THREADED
DWGS.	DRAWINGS	(N)	NEW	TYP.	TYPICAL
(E)	EXISTING	P.E.N.	PANEL EDGE NAILING	V.I.F.	VERIFY IN FIELD
		PLY.	PLYWOOD	W/	WITH

LEGEND

	CONCRETE (E)		CONCRETE (N)
	(E) WOOD IN SECTION		(N) WOOD IN SECTION
	(N) BLOCKING		(N) BLOCKING



REVISIONS		
NO.	DATE	COMMENT

GENERAL NOTES AND TYPICAL DETAILS

NEW SWIMMING POOL AND SITE IMPROVEMENTS

POSNER RESIDENCE

139 GILMARTIN DRIVE

TIBURON, CALIFORNIA 94920

A.P.N. 039-290-33

DETLEV P. DORING, S.E., INC.

STRUCTURAL ENGINEER

216 CLEVELAND COURT

MILL VALLEY, CALIFORNIA

PH. (415) 381-5662 CELL (415) 847-4814

EMAIL: DET@DPDORINGSE.COM

REGISTERED PROFESSIONAL ENGINEER

DETLEV P. DORING, S.E.

No. 5003834

Exp. 4/30/2021

STATE OF CALIFORNIA

SEPT. 9, 2021

DATE: SEPT. 9, 2021

SCALE: AS NOTED

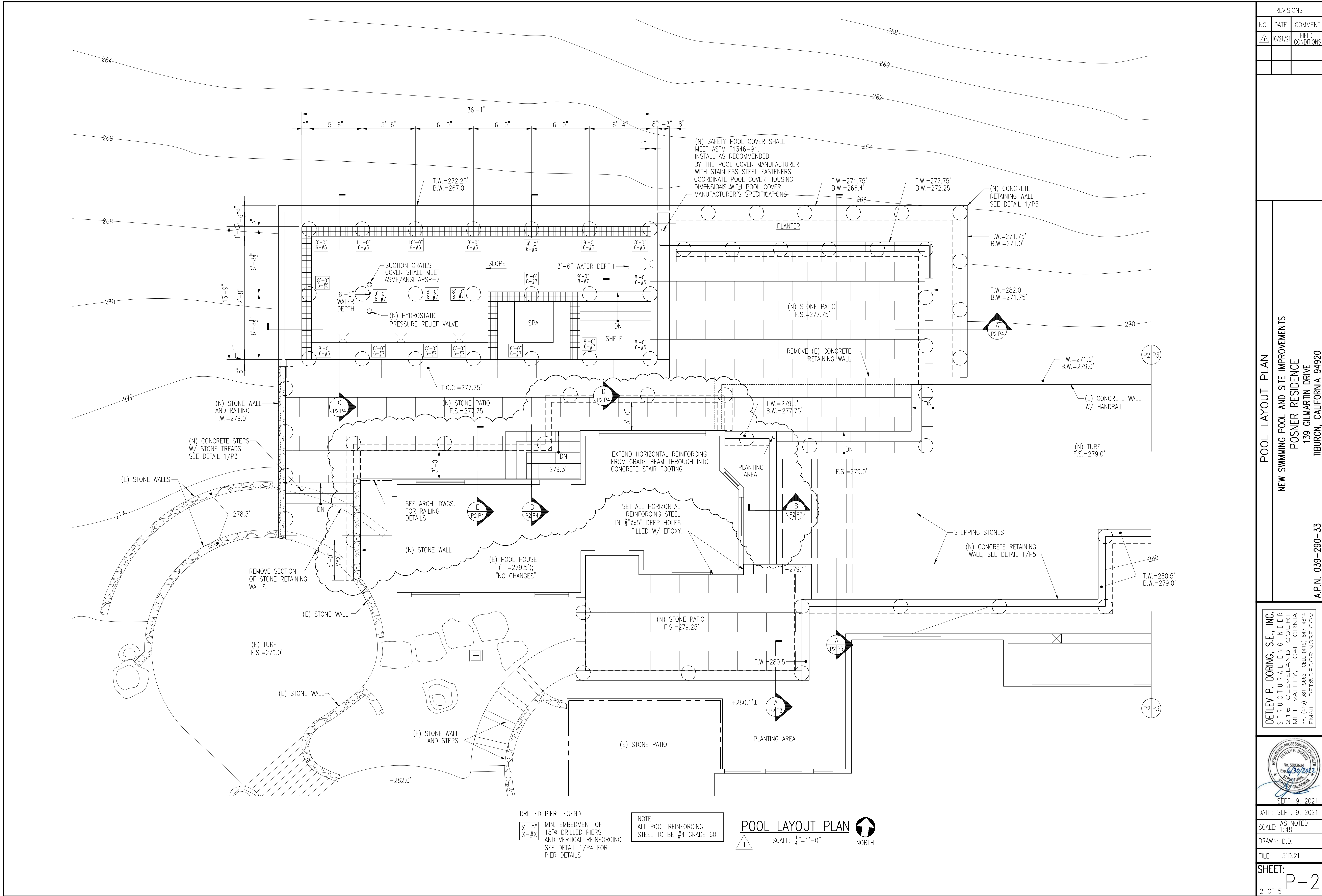
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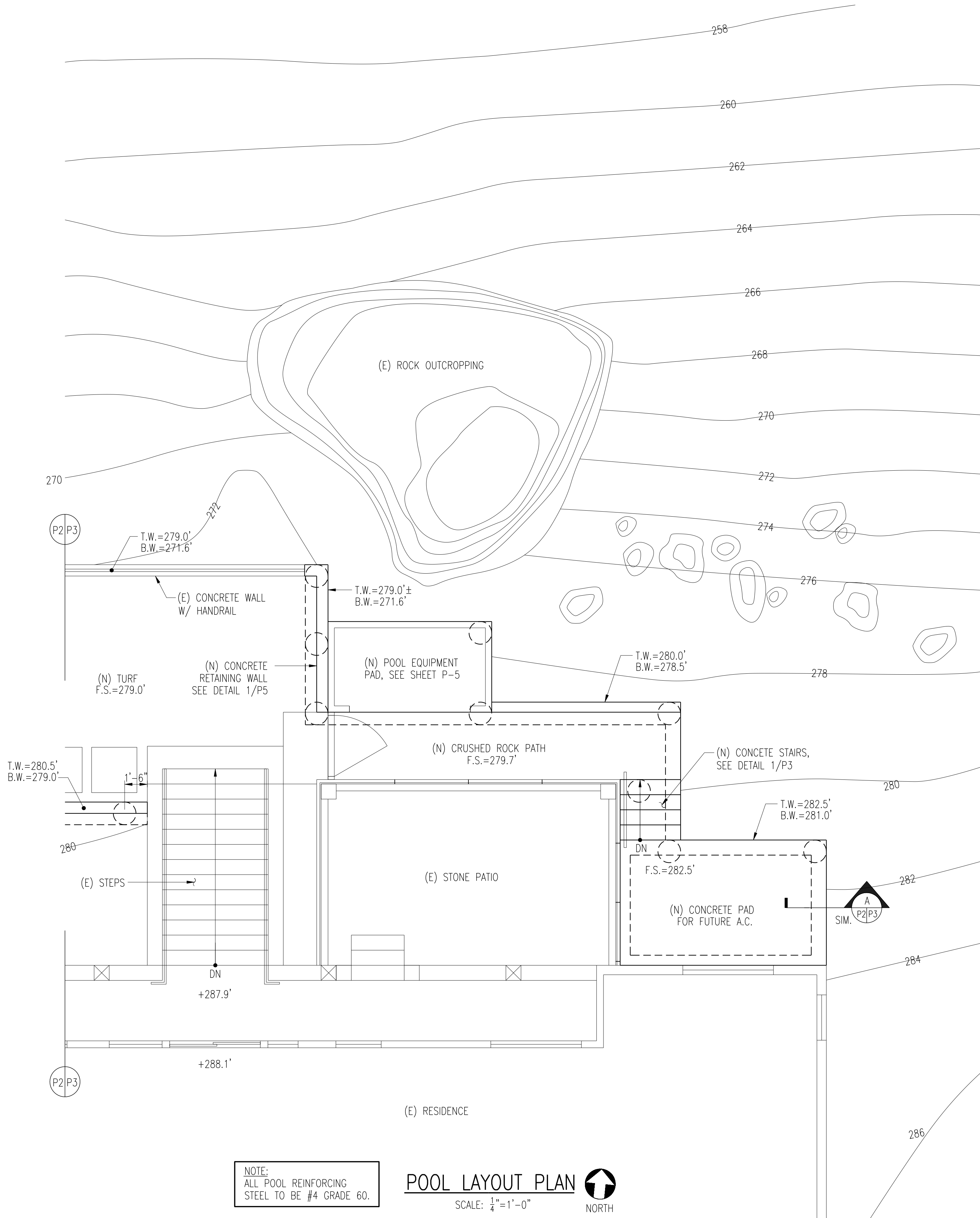
DRAWN: D.D.

FILE: 510.21

SHEET: P-1

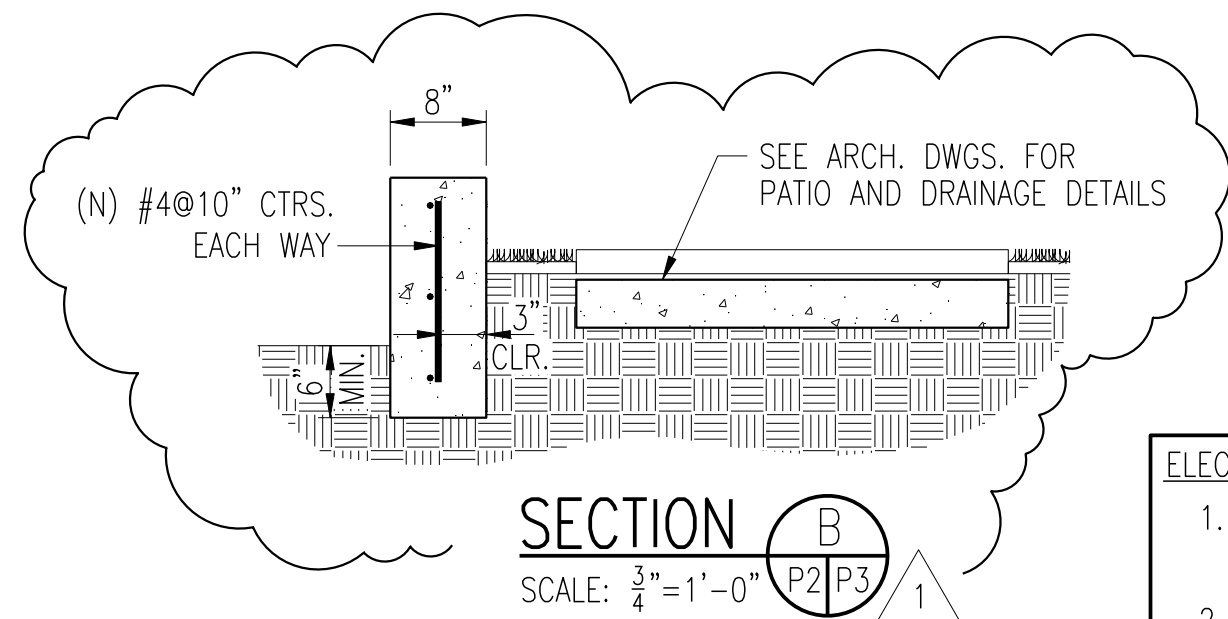
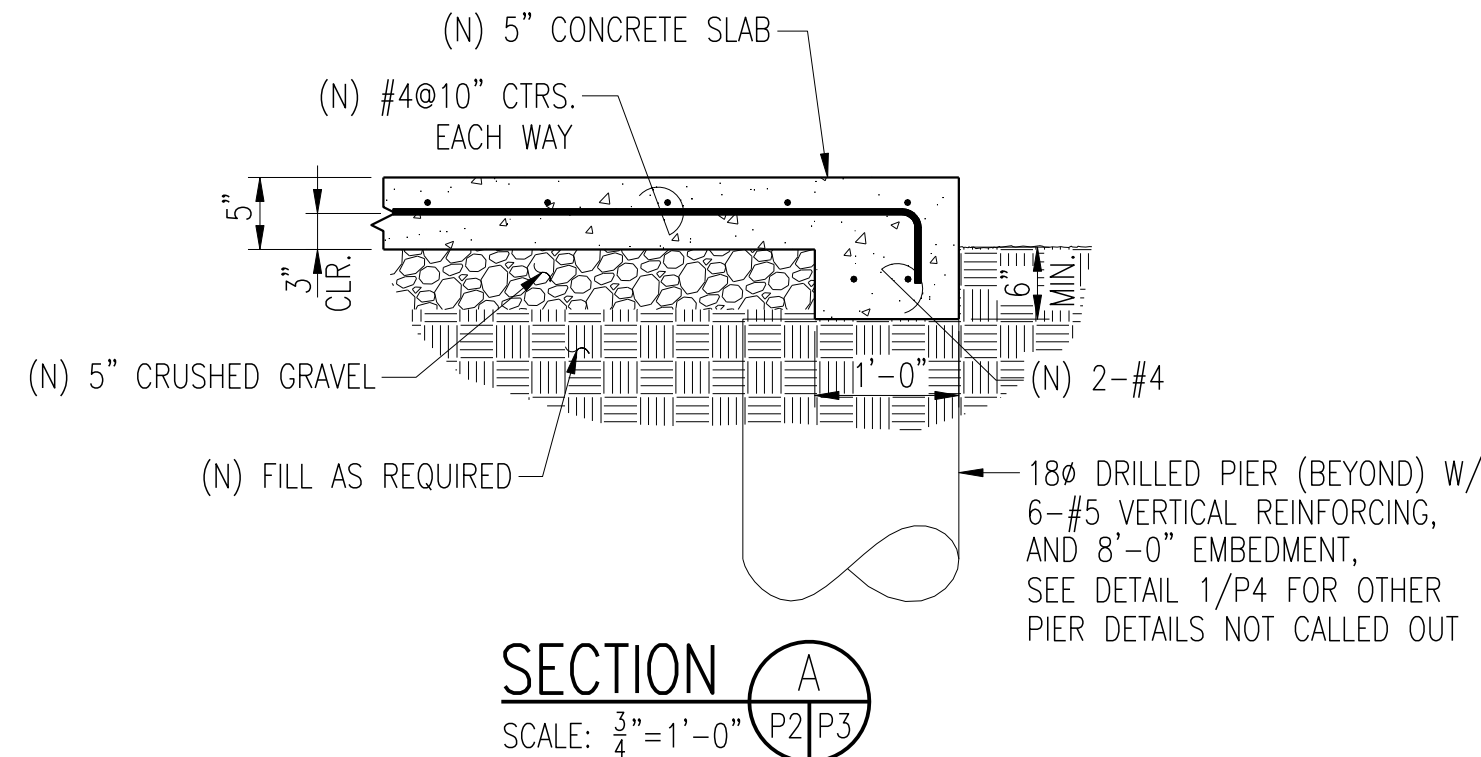
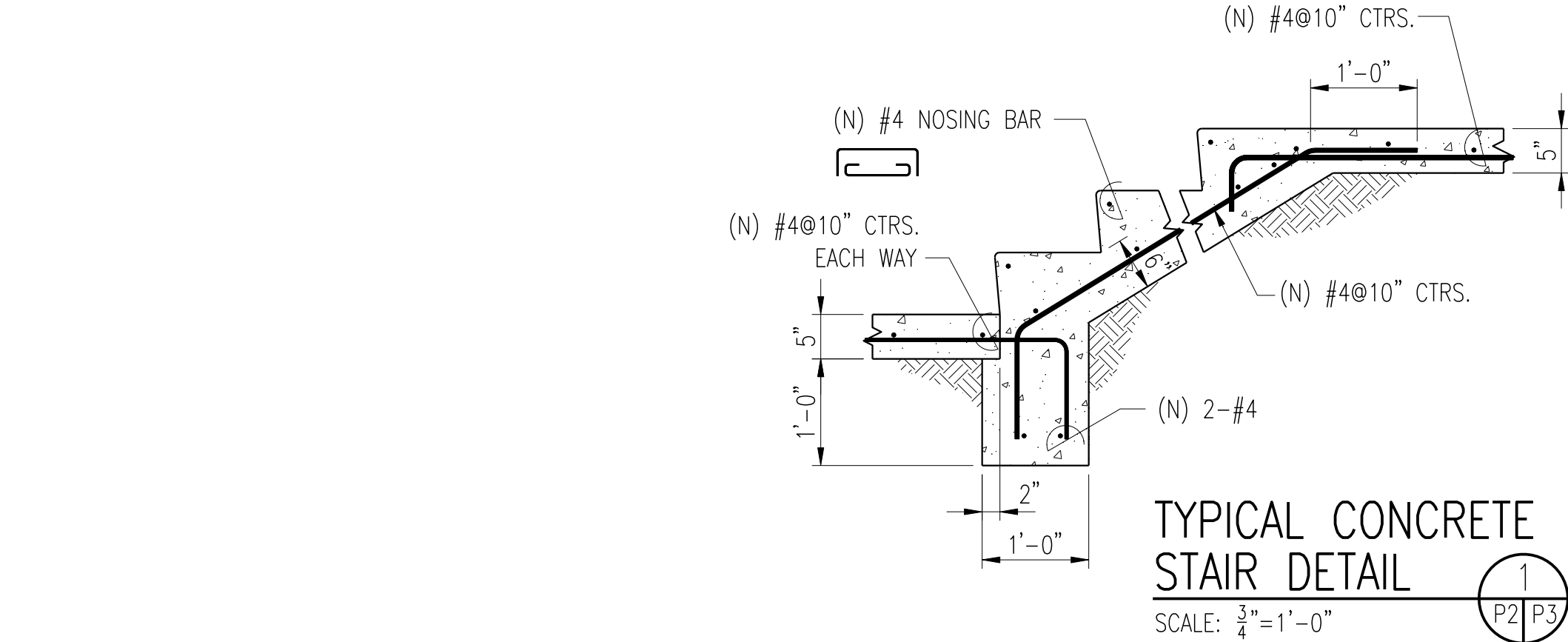
1 OF 5





NOTE:
ALL POOL REINFORCING
STEEL TO BE #4 GRADE 60.

POOL LAYOUT PLAN
SCALE: 1/4"=1'-0"

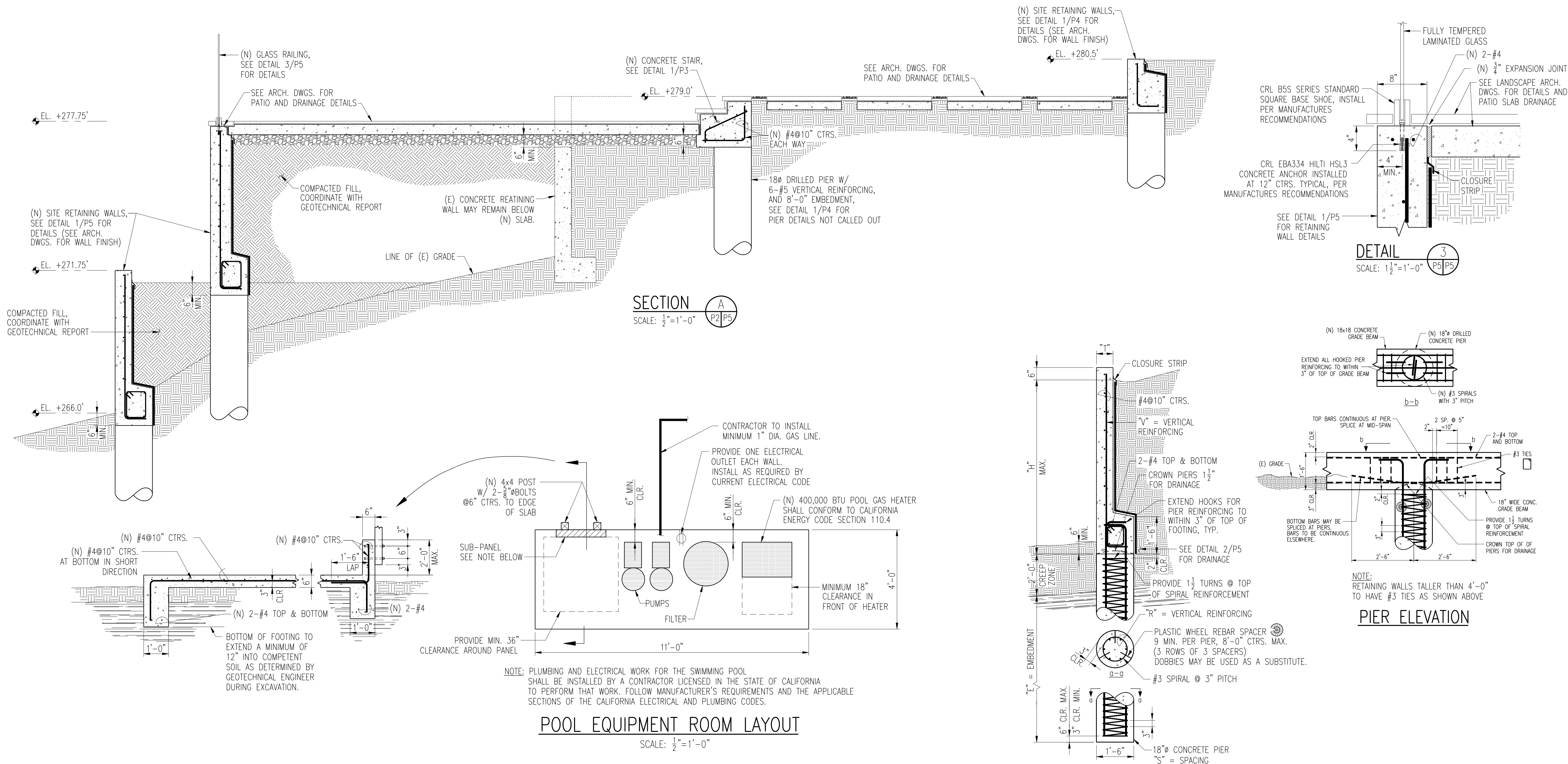


- CONTRACTOR NOTES:**
1. REMOVE ALL ROOTS AND STUMPS FROM THE SOIL TO A DEPTH OF AT LEAST 12 INCHES BELOW THE SURFACE OF THE GROUND IN THE AREA TO BE OCCUPIED BY THE BUILDING
 2. CONCRETE FOR THE PIERS MUST BE PLACED BY PUMPING WITH CONCRETE NOT FALLING MORE THAN 12" TO AVOID SEPARATION OF AGGREGATE AND CEMENT MIXTURE.
 3. CONCRETE FOR THE SWIMMING POOL SHALL BE SHOTCRETE.
 4. SEE SHEET P-1 FOR INSPECTION REQUIREMENTS.
 5. DRAINAGE DETAILS MAY BE SCHEMATIC AND INCOMPLETE, REFER TO THE TEXT AND DRAWINGS IN THE GEOTECHNICAL REPORT FOR ACTUAL MATERIALS AND INSTALLATION.

- ELECTRICAL NOTE:**
1. INSTALL A WATERPROOF GROUND FAULT CIRCUIT INTERRUPT PROTECTED RECEPTACLE 10 FT. MINIMUM AND 20 FT. MAXIMUM FROM THE POOL WATER 2'-0" ABOVE GRADE.
 2. A MINIMUM OF ONE 125 VOLT 15 TO 20 AMP RECEPTACLE SHALL BE LOCATED NOT LESS THAN 6 FT. NOR MORE THAN 20 FT. FROM THE INSIDE OF THE POOL WALL AND NOT MORE THAN 6'-6" ABOVE THE FINISH SURFACE PER CALIFORNIA ELECTRICAL CODE SECTION 680.22 (A)
 3. LUMINARIES, ELECTRICAL OUTLETS AND SUSPENDED FANS ABOVE THE POOL AREA OR WITHIN A HORIZONTAL DISTANCE OF LESS THAN 5 FT. FROM THE INSIDE OF THE POOL WALL SHALL BE A MINIMUM OF 12 FT. ABOVE THE WATER LEVEL OF THE POOL.
 4. LUMINARIES, ELECTRICAL OUTLETS AND SUSPENDED FANS INSTALLED IN AN AREA EXTENDING BETWEEN 5 FT. AND 10 FT. FROM THE INSIDE OF THE POOL WALL SHALL BE GROUND FAULT INTERRUPT PROTECTED UNLESS INSTALLED NOT LESS THAN 5 FT. ABOVE THE MAXIMUM WATER LEVEL AND RIGIDLY ATTACHED TO THE STRUCTURE ADJACENT TO OR ENCLOSING THE POOL.
 5. ALL POOL POOL REINFORCING, SLAB REINFORCING AND RETAINING WALL REINFORCING STEEL AND ALL OTHER FIXED METAL ITEMS SUCH AS HANDRAILS IN THE POOL AND WITHIN 5'-0" OF THE POOL WATER SHALL BE BONDED TOGETHER TO THE POOL REINFORCING GRID WITH A BARE COPPER WIRE 20 FT. LONG, NOT SMALLER THAN #8 AWG. AT A MINIMUM OF 4 POINTS UNIFORMLY SPACED AROUND THE POOL.

- PLUMBING NOTE:**
1. SWIMMING POOL SHALL HAVE AT LEAST TWO CIRCULATION DRAINS PER PUMP. PUMPS SHALL BE HYDRAULICALLY BALANCED AND SYMMETRICALLY PLUMBED THROUGH ONE OR MORE "T" FITTINGS. DRAINS SHALL HAVE A MINIMUM 3 FT. SEPARATION BETWEEN THEM. SUCTION OUTLETS THAT ARE LESS THAN 12" IN DIAMETER ACROSS SHALL BE COVERED WITH ANTI-ENTRAPMENT DEVICES PER ASME/ANSI STANDARD A112.19.8. ADDITIONAL SAFETY DEVICES INSTALLED IN THE SWIMMING POOL OR SPA SHALL MEET THE STANDARDS AS PUBLISHED IN "GUIDELINES FOR ENTRAPMENT HAZARDS: MAKING POOLS AND SPAS SAFER", PUBLICATION DOCUMENT NO. 363, MARCH 2005, UNITED STATES CONSUMER PRODUCTS SAFETY COMMISSION. UNITED STATES CONSUMER PRODUCTS SAFETY COMMISSION. HEALTH & SAFETY CODE 115928 AND CBC 3109.4.48.
 2. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH ANSI/APSP-7
 3. ALL PLUMBING AND ELECTRICAL WORK ON THE SWIMMING POOL SHALL BE INSTALLED BY POOL CONTRACTOR AND ELECTRICIAN LICENSED IN THE STATE OF CALIFORNIA.
 4. INSTALL AN APPROVED AIR GAP PER ASME A112.1.3 WITH THE CRITICAL LEVEL ABOVE THE FLOOR LEVEL RIM.
 5. INSTALL A LISTED VACUUM BREAKER UPRIGHT WITH NO VALVE DOWNSTREAM. MINIMUM 6" OR LISTED DISTANCE ABOVE ALL DOWNSTREAM PIPING AND FLOOD-LEVEL RIM OF RECEPTOR.
 6. INSTALL BACKFLOW PREVENTER SUITABLE TO ELIMINATE CONTAMINATION OF DOMESTIC WATER SUPPLY. INSTALL PER CPC TABLE 603.2.

REVISIONS		
NO.	DATE	COMMENT
1	10/21/21	FIELD CONDITIONS
POOL LAYOUT PLAN, NOTES, SECTION AND TYPICAL DETAIL		
NEW SWIMMING POOL AND SITE IMPROVEMENTS		
POSNER RESIDENCE		
139 GILMARTIN DRIVE		
TIBURON, CALIFORNIA 94920		
A.P.N. 039-290-33		
DETLEV P. DORING, S.E., INC. STRUCTURAL ENGINEER 2116 CLEVELAND COURT MILL VALLEY, CALIFORNIA PH. (415) 381-5662 CELL (415) 847-4814 EMAIL: DET@DPPORINGSE.COM		
REGISTERED PROFESSIONAL ENGINEER No. 50036364 Exp. 4/30/2022 DETLEV P. DORING STRUCTURAL TIBURON, CALIFORNIA		
SEPT. 9, 2021		
DATE: SEPT. 9, 2021		
SCALE: AS NOTED		
DRAWN: D.D.		
FILE: 51D.21		
SHEET: P-3		
3 OF 5		



REVISIONS		
NO.	DATE	COMMENT
SECTION, DETAIL, AND TYPICAL DETAILS		
NEW SWIMMING POOL AND SITE IMPROVEMENTS		
POSNER RESIDENCE		
139 GILMARTIN DRIVE		
TIBURON, CALIFORNIA 94920		
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5 OF 5		