## PROJECT DESCRIPTION

THE SCOPE OF THIS PROJECT IS CONFINED TO THE REAR YARD. WE ARE PROPOSING: A NEW INFINITY EDGE POOL AND SPA, A NEW STONE PATIO / POOL DECK, A NEW OUTDOOR KITCHEN ISLAND TO THE EAST OF THE POOL, NEW STEPS LEADING UP TO A STEPPING STONES AND TURF AREA. THE WOOD POOL EQUIPMENT ENCLOSURE IS PROPOSED TO THE EAST OF THE NEW TURF AREA. A NEW GLASS GUARDRIAL IS PROPOSED ALONG THE EDGE OF THE NEW STONE PATIO. NEW PLANTING AND IRRIGATION IS PROPOSED WITHIN THE CONFINES OF THE REAR YARD.

## **PROJECT TEAM**

IMPRINTS LANDSCAPE ARCHITECTURE - CONTACT: BRAD EIGSTI - 202 ROSEMONT AVE, MILL VALLEY, CA - (415) 380-0755 brad@imprintsgardens.com

LTD ENGINEERING, INC. - CONTACT: GLEN DEARTH - 1050 NORTHGATE DRIVE, SAN RAFAEL, CA 94903 - (415)-446-7402 - gdearth@LTDengineering.com

**DETLEV P. DORING STRUCTURAL ENGINEERING INC.** - CONTACT: DETLEV P. DORING - 216 CLEVELAND COURT, MILL VALLEY, CA - (415) 847-4814 det@dpdoringse.com

MICHEL S. KHOURY, GEOTECHNICAL ENGINEER - CONTACT: MICHEL S. KHOURY -(510)-525-1494 - info@calengineering.com

## **GENERAL NOTES**

BUILDING & PLANNING CODE
ALL CONSTRUCTION, REGARDLESS OF DETAILS SHOWN ON THE PLANS,
SHALL COMPLY WITH THE FOLLOWING:

APPLICABLE BUILDING CODES:
2019 California Building Code (CBC)
2019 California Electrical Code (CEC)
2019 California Mechanical Code (CMC
2019 California Plumbing code(CPC)
2019 California Fire Code (CFC)
2019 California Green Building Standards Code (CAL Green)
2019 California Energy Code (CEnC)
2019 Building Energy Efficiency Standards
2019 California Residential Code (CRC)
County of Marin Local Codes

County of Marin Local Codes

SOME ELEMENTS MAY LACK CLARITY, OR AN ELEMENTS MAY BE MISREPRESENTED ON THE SUBMITTED PLANS. PLEASE BE AWARE NON-COMPLIANT ELEMENTS AND CONDITIONS NOT ADDRESSED IN PLAN REVIEW ARE SUBJECT TO FIELD REVIEW, AND COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS WILL BE REQUIRED."

## **SHEET INDEX**

SHEET DESCRIPTION COVER SHEET & SITE PLAN L0.1

LANDSCAPE DEMO PLAN L1.1

LANDSCAPE CONSTRUCTION PLAN L2.1

L3.1 LANDSCAPE LAYOUT PLAN LANDSCAPE PLANTING PLAN L4.1

LANDSCAPE IRRIGATION PLAN

LANDSCAPE NOTES L6.1 LANDSCAPE DETAILS L7.1

L8.1 LOT COVERAGE AND IMPERVIOUS SURFACE TOTALS

**COVER SHEET** C-1

C-2 GRADING AND DRAINAGE PLAN

C-3 **DETAILS** 

**SPECIFICATIONS** C-4

C-5 **EROSION CONTROL PLAN** 

EROSION CONTROL AND STROMWATER POLLUTION C-6

PREVENTION NOTES

GENERAL NOTES, ABBREVIATIONS & TYPICAL DETAILS POOL LAYOUT PLANS, POOL NOTES, TYP. DETAIL & SECTION P-2

POOL SECTIONS P-3

TYPICAL RAILING, CONCRETE & REINFORCING DETAILS P-4

## **DATA TABLE**

(E) & Proposed Lot Area: 35,167 SF <u>APN Number</u>: 039-290-33

Zoning: RPD <u>Wildland Interface</u>: Y <u>Average Slope</u>: 27.7 % Flood Zone: No

Stream Conservation Buffer: No

(E) Impervious Surface: 8,175 SF (N) Impervious Surface: 10,005 SF (E) Lot Coverage: 4,873 SF (N) Lot Coverage: 5,123 SF

Front Setback

Existing = 25'-0" Proposed = 25'-0"

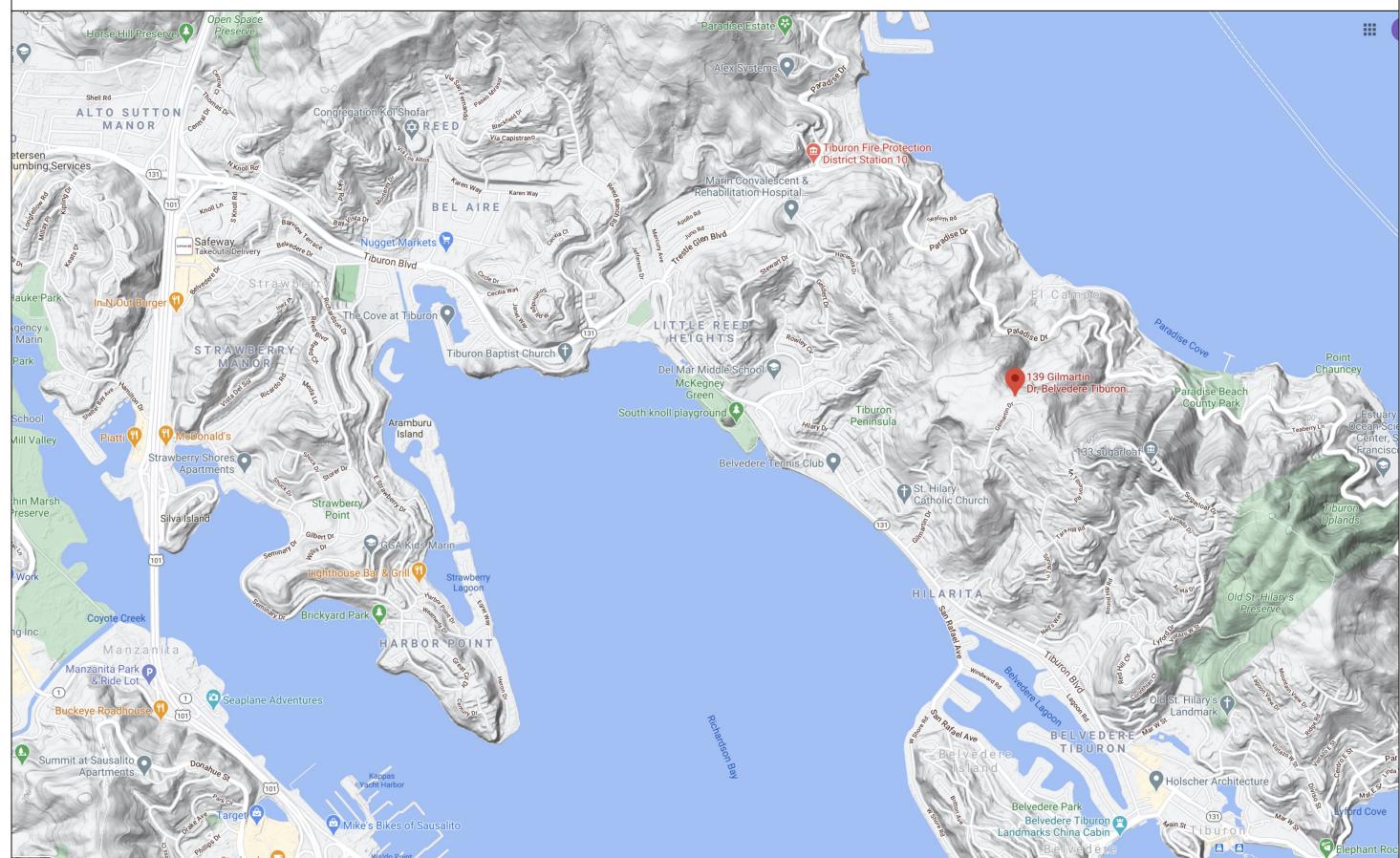
Rear Setback Existing = 25'-0"

Proposed = 25'-0"

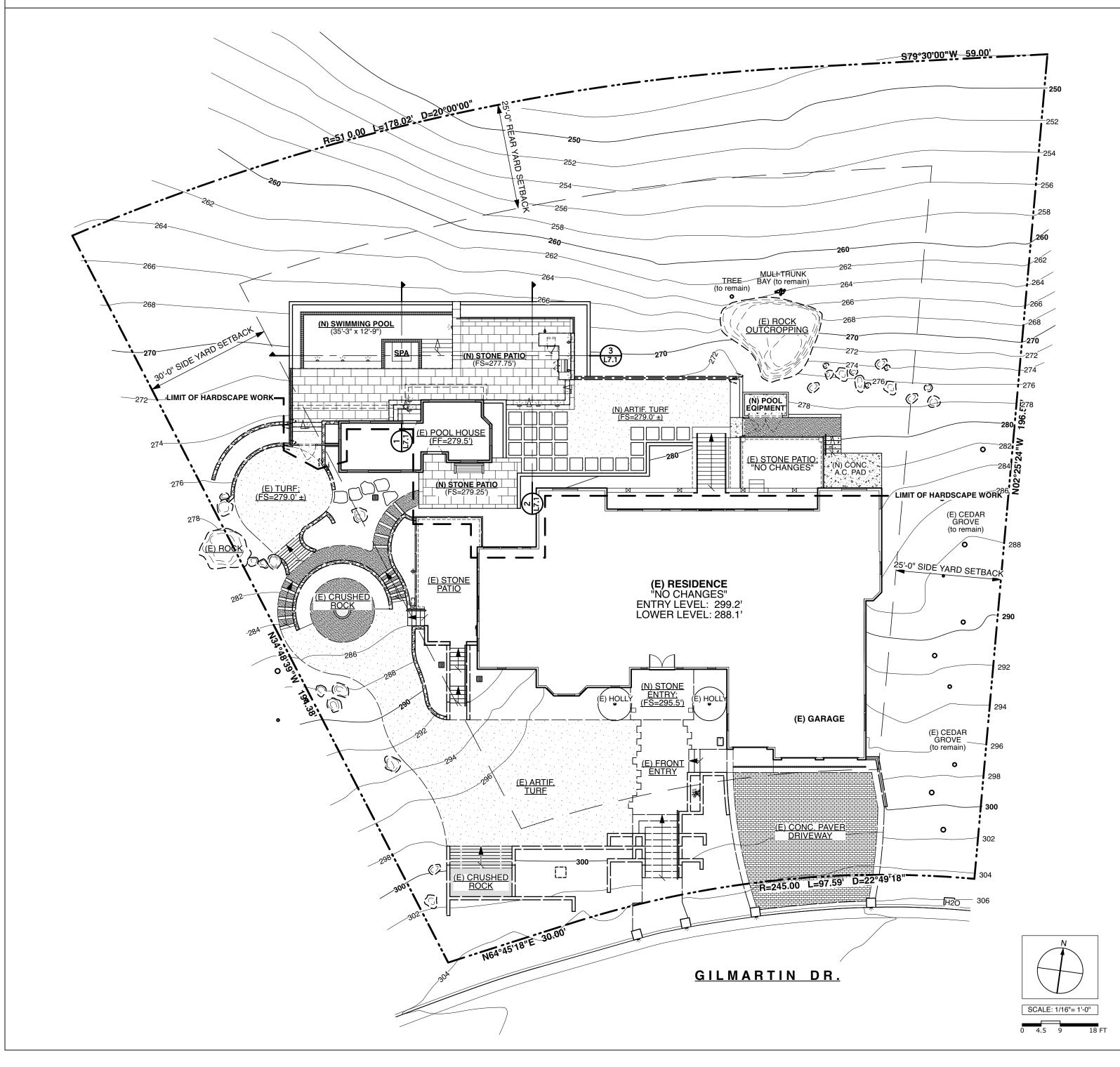
Side Setback (West) Existing = 30'-0" Proposed = 30'-0"Side Setback (East)

Existing = 25'-0" Proposed = 25'-0"

## **VICINITY MAP**



## SITE PLAN - 1/16"=1'-0"







DATE  $\Delta$  DESCRIPTION BY

PLAN. RE-SUB. EO PLOT 11.04.2021 DRAWN EO JOB# POSNER SCALE SEE SCALE

**COVER SHEET** 

Form: TFD Planning Design

**Inspection Description:** 

Design Review Project Description

Compliance with Government Code 65943- Merits of the Project

Provided by Town of Tiburon, City of Belvedere or County of Marin

**Residential Conditions from Tiburon Fire District** 

Additional Time Spent on Inspection:

Inspector Notes:

We appreciate your commitment to fire and life safety

Vegetation Management Plan - WUI-VHFSZ

Sign-off can occur without the VMP in place and inspected

Notes: pool/spa, deck, kitchen island, shed, landscaping

spection Topics:

Outside Agency Tracking Number:

Notes: TOT Planning DR2021-028

Notes: No Additional time recorded

Summary:

Review Conditions-Residential Project

Scope of Project:

Status: SELECTED

**Tiburon Fire Protection District** Occupancy: 139 GILMARTIN LLC Occupancy ID: 2135 Address: 139 Gilmartin DR **TIBURON CA 94920** 

Inspection Type: PLAN REVIEW - PLANNING AND BUILDING Inspection Date: 4/20/2021 By: Lantier, Michael (127) Time In: 14:31

This review is based on the 2019 Edition of the California Fire Code and Ordinance #129 of the Tiburon Fire Protection District

A Vegetation Management Plan (VMP) conforming to the policies of the Tiburon Fire District shall be prepared and implemented at the site. The VMP-Fuels Management Plan shall conform to Tiburon Fire Protection Policy 433.3 and Fire Safe Marin Standards. The plan shall be incorporated into the landscape plan for the project and submitted to the Fire Marshal for review prior to implementation. The plan shall be implemented prior to building final. NO Fire Dept.

Notes: Extracted Pages 1 and 4 as the VMP for this project when it comes under the Building Permit review.

Overall Result: PLAN REVIEW COMPLETE

For the most comprehensive information, please visit: www.tiburonfire.org/tiburon-fire-standards/

Time Out: 14:33 Authorized Date: **04/20/2021** By: Lantier, Michael (127)

Start Date / Time End Date / Time

**Total Additional Time: 0 minutes** 

Inspection Time: 2 minutes

Total Time: 2 minutes

Page 1 of 1

House sales: Real estate agents must provide the Sanitary District with a sewer line lateral video before sale of a property, this is to review the condition of sewer lateral. The Sanitary District inspector will determine if the line needs a repair or replacement. (Section. #408 & #611 (b) )

New Construction: Connection fees for new lot/home Residential and Commercial

For Commercial Properties w/ Kitchens: installation/confirmation of grease trap or interceptor

Permit issue for all outside sewer work lateral repairs or replacements to city main sewer

Check Valve installation/confirmation

Payment for new fixture fees and permit

All final projects with the city must have a Sanitary District final walk through and job card sign off.

Tuesday & Thursdays 8AM-12:00pm

Sanitary District #5 Permits and Inspections Main: 415.435.1501. ext. 105 Cell: 415.-559.8378 jrosser@sani5.org

From: Samantha Bonifacio <sbonifacio@townoftiburon.org> Sent: Thursday, April 1, 2021 12:09 PM

Subject: Plan Review Request- 139 Gilmartin Drive; Pool, Spa, and Landscaping

To: Samantha Bonifacio <sbonifacio@townoftiburon.org>

March 18, 2021

Hi Evervone.

Please review and advise of any conditions or comments in response to the new application received for Site Plan and Architectural Review with the Planning Division. I apologize for the delay in circulating these plans.

Location and Address: 139 Gilmartin Drive Tiburon, CA 94920 APN: 039-290-33 Project Description: New infinity pool and spa, new patio/pool deck, new outdoor kitchen, pool equipment

enclosure, and various new plantings and irrigations.

VIA ELECTRONIC MAIL

Printed on 04/20/21 at 14:15:35

Samantha Bonifacio April 29, 2021 Tiburon Planning Dept Service No. 55861 1505 Tiburon Blvd Tiburon CA 94920

RE: WATER AVAILABILITY – Single Family Dwelling Assessor's Parcel No.: 039-290-33 Location: 139 Gilmartin Dr., Tiburon

Project Description: New infinity pool, spa, deck and accessory structures. Dear Ms. Bonifacio:

The District has the following comments on this project:

☐ The proposed project will not impair the District's ability to continue service to this property.

☐ The purchase of additional water entitlement for the property is required.

☐ The installation of a new water service is required. ☐ Comply with Ordinance No. 429 requiring the installation of a gray water recycling system when

practicable for all projects required to install new water service and existing structures undergoing "substantial remodel" that necessitates an enlarged water service. ☐ The proposed project is not within the District's service area.

Compliance with all indoor and outdoor requirements of District Code Title 13 – Water Conservation is a ondition of water service. Indoor plumbing fixtures must meet specific efficiency pursuing a landscaping project subject to review by your local planning department and /or subject to a city permit, please contact the district water conservation department at 415-945-1497 or email to plancheck@marinwater.org. More information about district water conservation requirements can be found online at www.marinwater.org

Should backflow protection be required, said protection shall be installed as a condition of water service. Questions regarding backflow requirements should be directed to the Backflow Prevention Program Coordinator at 415-945-1558.

If you have any questions regarding this matter, please contact me at 415-945-1531. Sincerely,

Nicole Momsen

Nicole Momsen

Engineering Technician

Under the requirements of State Law (Government Code Section 65943) it is necessary to obtain from all responsible agencies timely and complete comments on the following three subjects. Your comments must be received by the date below if they are to be applied to this project. If no comments are received by April 15, 2021, the Town will assume that you have none.

Thank you,

Samantha Bonifacio Assistant Planner

Town of Tiburon | 1505 Tiburon Boulevard, Tiburon, California 94920 I am available during normal business hours which are 7:30 AM to 4:30 PM, Monday through Thursday.

\*\* All Town facilities are closed for walk-in service. Additional information about access to Town services during the shelter-in-place order is available on the Town's website. Most staff are available by email (Staff Directory). Please note that individual phone lines may not be monitored and email is the best method of communication. \*\*\*

MarinWater.org

220 Nellen Avenue, Corte Madera, CA 94925 415.945.1455

9. If this approval is challenged by a third party, the property owner/applicant will be responsible for defending against this challenge, with defense counsel subject to the Town's approval. The property owner/applicant agrees to defend, indemnify and hold the Town of Tiburon harmless from any costs, claims or liabilities arising from the approval, including, without limitations, any award of attorney's fees that might result from the third-party challenge.

Town of Tiburon • 1505 Tiburon Boulevard • Tiburon, CA 94920 • P. 415.435.7373 F. 415.435.2438 • www.townoftiburon.org

PROJECT DESCRIPTION: Exterior improvements to a property with an existing single-

New retaining walls in the rear yard ranging in height from 6' to 10'4"

1. A copy of the Planning Division's "Notice of Action" including these

2. The owner and/or applicant shall defend, indemnify, and hold the Town

"Conditions of Approval" (see below) for this project shall be copied onto a

harmless along with the Town Council, commissions, boards, agents, officers,

employees, and consultants from any claim, action, or proceeding ("action"),

against the Town, its boards, commissions, agents, officers, employees, and

approval(s) of the project or alleging any other liability or damages based upon,

caused by, or related to the approval of the project. The Town shall promptly

attorney's fees and litigation costs incurred by the Town in either case paid for

3. Construction drawings submitted to the Building Division for plan check shall be

made to the approved Design Review drawings, the permit holder is

materially identical to those approved by Planning Staff. If any changes are

responsible for clearly identifying all such changes when construction drawings are submitted to the Building Division for plan check. For Planning Division

conformance check purposes, such changes must be clearly highlighted (with a "bubble" or "cloud") on the submitted construction drawings. A list describing in detail all such changes shall be submitted and attached to the construction

drawing set, with a signature block to be signed by the Planning Division Staff

member indicating that these changes have been reviewed and are approved,

or will require separate Design Review approval. All changes to a project that

have not been explicitly approved by Planning Division Staff as part of the

Building Division Plan Check process are not approved. Construction that

4. All exterior lighting shall be shielded downward. No clear glass fixtures are

stop work orders and may require removal.

Review application.

the subject property.

does not have Planning Division approval is not valid and shall be subject to

5. All exterior HVAC units and generators shall comply with the Town's Noise

Standards Policy for Air Conditioning Units. www.townoftiburon.org/DocumentCenter/View/1050/HVAC-and-Similar-

the property line, noise baffles or other sound reduction shall be required to

reduce the sound levels at the property lines and may require a separate Design

6. Throughout project construction, fencing and/or walls located within a required

setback shall not exceed six feet (6') in height at any point, measured from grade

on both sides of the fence/wall, except where allowed by Municipal Code section

16-30.040(B)(2). All new fencing, walls and footings shall be located entirely on

7. Prior to commencement of construction, a construction information sign shall be

posted on the site during construction of the project, in a location plainly visible

to the public. The sign shall be 24" x 24" in size and shall be made of durable.

weather-resistant materials intended to survive the life of the construction

period. The sign shall contain the following information: job street address; work

hours allowed per Chapter 13 of the Tiburon Municipal Code; builder (company name, city, state, ZIP code); project manager (name and phone number); and

emergency contact (name and phone number reachable at all times). The sign

8. If any existing landscaping that is not proposed to be removed is subsequently

refer any subsequent landscaping plan to the Design Review Board.

removed, the applicant shall work with staff to provide additional adequate

landscaping prior to a Final Inspection by Planning Staff. Planning staff may

shall remain posted until the contractor has vacated the site.

echanical-Equipment-Noise-Policy. If the units exceed this noise standards at

consultants attacking or seeking to set aside, declare void, or annul the

notify the owner and/or applicant of any action. The Town, in its sole

discretion, may tender the defense of the action to the owners and/or

applicants or the Town may defend the action with its attorneys with all

plan sheet at the beginning of the plan set(s) submitted for building permits.

Notice: June 14, 2021

Jon Welner

Effective Date: June 22, 2021

**PLANNING DIVISION** 

SITE PLAN & ARCHITECTURAL REVIEW APPLICATION

APPLICANT/OWNER: Imprints Landscape Architecture/Posner

New stone patio and patio deck with glass guardrails

NOTICE OF ACTION

erik@imprintsgardens.com

FILE NO.: DR2021-028

New fire pit

ADDRESS: 139 Gilmartin Drive

family dwelling that will include:

New infinity pool and spa

New metal gate at entry to pool patio

A 6' tall wood pool equipment enclosure

**ACTION:** Approved with the following conditions:

New outdoor bar and barbeque island

Exterior path and step lighting

**Community Development Department** 

by the owner and/or applicant.

Erik Olson

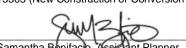
10. The proposal shall comply with the requirements of the California Fire Code and the Tiburon Fire Protection District (TFPD), prior to issuance of a building

11. The proposal shall comply with any requirements of the Tiburon Department of Public Works, prior to issuance of a building permit.

12. The proposal shall comply with the attached requirements of the Marin Municipal Water District, prior to issuance of a building permit.

13. The proposal shall comply with the attached requirements of the Sanitary District No. 5, prior to issuance of a building permit

This project has been determined to be categorically exempt from the California Environmental Quality Act (CEQA) under Section 15301 (Existing Facilities) and Section 15303 (New Construction or Conversion of Small Structures).



NOTE: This decision applies only to the items mentioned in the written "project DESCRIPTION" DESCRIBED ABOVE. PLANS SUBMITTED TO THE BUILDING DIVISION FOR PLAN CHECK SHALL BE IDENTICAL TO THOSE APPROVED BY PLANNING DIVISION STAFF. IF ANY CHANGES ARE MADE TO THE APPROVED DESIGN REVIEW PLANS. THE PERMIT HOLDER IS RESPONSIBLE FOR CLEARLY IDENTIFYING ALL SUCH CHANGES WHEN SUBMITTED TO THE BUILDING DEPARTMENT FOR PLAN CHECK. SUCH CHANGES MUST BE CLEARLY HIGHLIGHTED (WITH A "BUBBLE" OR "CLOUD") ON THE SUBMITTED PLANS. THE APPLICANT SHALL ALSO SUBMIT AN ATTACHED LIST OF THE PROPOSED CHANGES FOR STAFF TO REVIEW.

The grade around the perimeter foundation of the home shall be sloped away from the

9. All work shall comply with Best Management Practices to prevent storm water contamination.

10. An Encroachment Permit from DPW is required for any work within the Town's road right-of-way, including, but not limited to, utility trenching, installation of new utility connections, and construction of the driveway apron. The plans shall clearly identify all proposed work in the right of way and an Encroachment Permit shall be obtained prior to conducting such work.

11. If this project is displacing over 50 cubic yards of earth, it shall be subject to post rain event erosion control inspections: Prior to building permit issuance the applicant shall complete the Construction Erosion and Sediment Control Applicant Package that can be found in the helpful forms and documents section of the Town's website. Link:

12. An erosion sediment control plan is required prior to building permit issuance.

**GENERAL INFORMATION** 

**APPEAL PROCEDURES:** 

**EXPIRATION OF APPROVAL:** 

before the date of expiration.

**BUILDING PERMIT:** 

at (415) 435-7380.

David Posner

david.a.posner@gmail.com

**Incompleteness Comments** 

and Solano Counties.

Conditions of Approval

permit issuance.

5. All retaining walls shall be back drained.

pavement of intersecting streets.

elevations shall be shown on the plans.

(Please read before starting work)

Appeal of the Planning Division's decision may be made by the applicant or any

aggrieved person within five (5) working days following the date of the decision (see

writing on the prescribed form accompanied by the appropriate filing fee. Appeals are

\$500 if filed by the applicant, or \$300 if filed by another property owner. Appeals are

effective date). Appeals shall be filed with the Planning Division and submitted in

All Site Plan and Architectural Review applications will expire and become null and

void three (3) years after the date of approval, unless a building permit has issued

A building permit must be obtained from the Building Division prior to

commencement of any construction. Building permit application forms can be obtained from the Building Division. Three (3) sets of complete, wet signed, plans

plan checked by the Building Division. The building permit application may be

(including structural calculations, energy calculations, and soils report, when required)

must be submitted with the application form and the appropriate fees in order to be

submitted at any time; however, no building permits will be issued until the five (5) working day appeal period has ended, and the plan check process is completed.

Please note the Planning Division is charged with conducting a compliance check on

Building Division shall be identical to those approved by Planning Division Staff. If any

applications which are submitted to the Building Division. Plans submitted to the

responsible for clearly identifying all such changes when submitted to the Building

submitted plans. The applicant shall also submit an attached list of the proposed

changes for Staff to review. A small fee may be charged for the compliance check.

Division. Such changes must be clearly highlighted (with a "bubble" or "cloud") on the

If you need further information on building permits, please contact the Building Division

changes are made to the approved Design Review plans, the permit holder is

TOWN OF TIBURON 1505 Tiburon Boulevard Γiburon, CA 94920

Public Works; David O. Eshoo

Provide a conceptual grading and drainage plan.

**2.** Provide the Cut/Fill quantities on the Plans.

139 Gilmartin Drive – DR2021-028

This project is creating or replacing 2,500 square feet or more of impervious surface must

implement at least one measure to reduce runoff in accordance with E.12 of the Town's

Municipal Stormwater Permit and the BASMAA Post-Construction Manual Design

Guidance for Stormwater Treatment and Control for Projects in Marin, Sonoma, Napa,

There are two runoff requirements: 1) Town requirement to reduce the peak flow rate to

pre-development conditions, 2) BASMAA requirement to implement at least one measure

to reduce runoff from the site since the project is creating or replacing more than 2,500 sf

also sheet flow the drainage across vegetated areas, but the areas need to have slopes, soil types, and vegetation that are conducive to allowing an inch of rainfall to infiltrate without

of impervious area. Acceptable options may include a Bioretention facility, or you could

All paved and unpaved finished surfaces shall be positively drained. Finished slopes and

Steep driveways shall be designed to direct drainage such that water will not flush the

4. Provide a final grading and drainage plan with drainage calculations prior to building

eroding the soil. Drainage calculations required with design.

scheduled before the Planning Staff whose decision is final.

John Rosser < jrosser@sani5.org> Monday, April 5, 2021 7:25 AM

sender and know the content is safe.

Samantha Bonifacio Joel Alvarez RE: Plan Review Request- 139 Gilmartin Drive; Pool, Spa, and Landscaping Subject:

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the

Hi Samantha.

I received the project referral/comment sheet for address 139 Gilmartin Dr. Since this is a New infinity pool and spa, new patio/pool deck, new outdoor kitchen, pool equipment enclosure, and various new plantings and irrigations, please include the following requirements/conditions for

Sanitary District 5: All outside fixtures must have an overhang with roof to keep stormwater infiltration out of the Sanitary District

Collection System. Sinks must have a roof covering and all outside showers need a roof covering with a lip.

Pools (CANNOT) be connected to the Sanitary District collection system for discharge.

Sanitary District #5 Ordinance 2014-02

Permit issue requirements and conditions for Sanitary District 5 of Tiburon/Belvedere.

All Contractors must bring Existing and Proposed plans to the Sanitary District. This is so we can issue out the Correct

Sanitary District #5 permit for the work being performed.

All projects must have a Sanitary District #5 final inspection completed by the District before Town of Tiburon, City of Belvedere or The County of Marin's job card is signed off by Sanitary District #5 Inspector.

Sanitary District #5 permit issued before construction starts:

Sewer line lateral video (Section, #610)

Check valve installation/confirmation (Section. #612)

For Residential and Commercial projects

All remodels, new construction or any work over \$50k (Section. #408. & # 611. (a)

 Connection fees for additional bath/kitchen/laundry fixtures o Require set of existing plans, as well as proposed plans, for comparison purposes

Any bathroom or kitchen remodel work (Section. #901.)

DATE  $\Delta$  DESCRIPTION BY PLANNING SUB. EO 05.05.2021 1 PLAN. RE-SUB. EO MMWD SUB. EO BUILDING SUB. EO

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF IMPRINTS LANDSCAPE ARCHITECTURE AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN
CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE
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PLOT 11.04.2021 DRAWN EO JOB# POSNER SCALE 1/8"=1'-0"

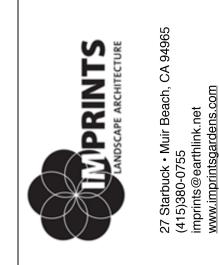
D.R. APPROVAL & **CONDITIONS OF** 

**APPROVAL** 

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139 GILMARTIN D TIBURON, CA { AP #: 039-2

RESIDENCE



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**DEMO PLAN** 

SHEET



139 GILMARTIN DRIVE TIBURON, CA 94920 AP #: 039-290-33

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SITE PLAN / LANDSCAPE CONSTRUC. PLAN

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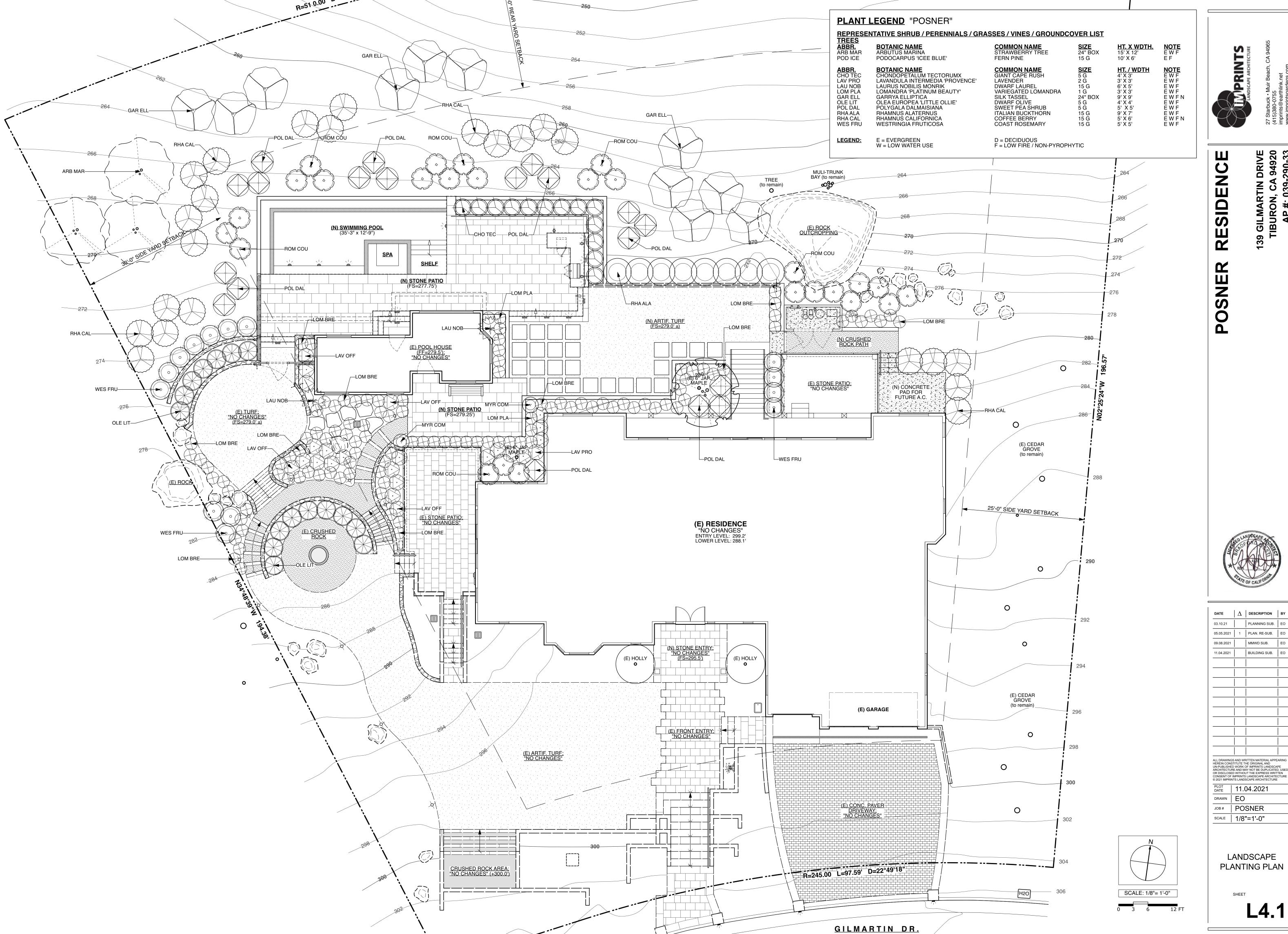
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LANDSCAPE LAYOUT PLAN

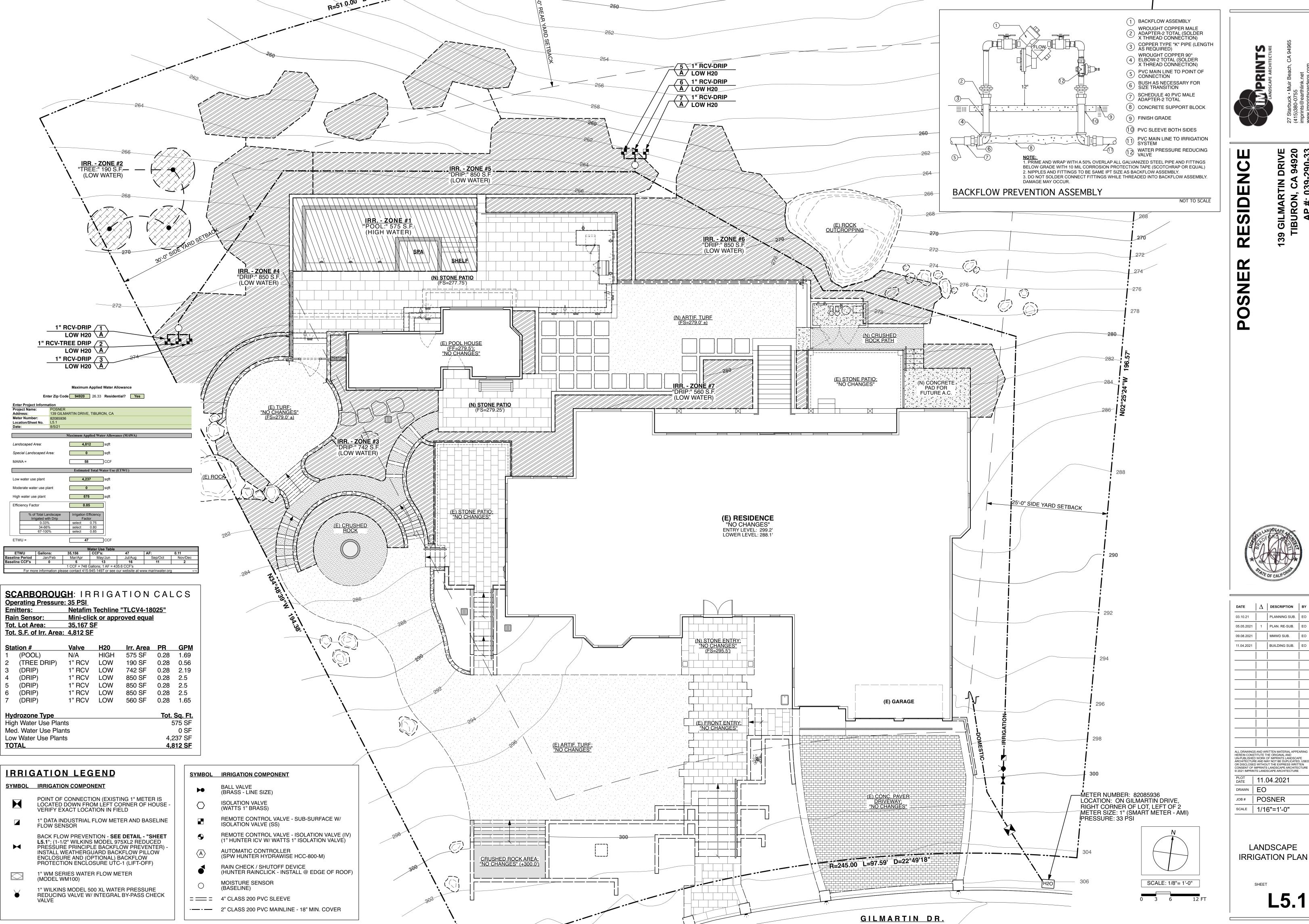
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139 GILMARTIN D TIBURON, CA ( AP #: 039-2

03.10.21 PLANNING SUB. EO 05.05.2021 1 PLAN. RE-SUB. EO ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE THE ORIGINAL AND UN-PUBLISHED WORK OF IMPRINTS LANDSCAPE ARCHITECTURE AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE EXPRESS WRITTEN CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE © 2021 IMPRINTS LANDSCAPE ARCHITECTURE PLOT 11.04.2021 DRAWN EO JOB# POSNER SCALE 1/8"=1'-0" LANDSCAPE

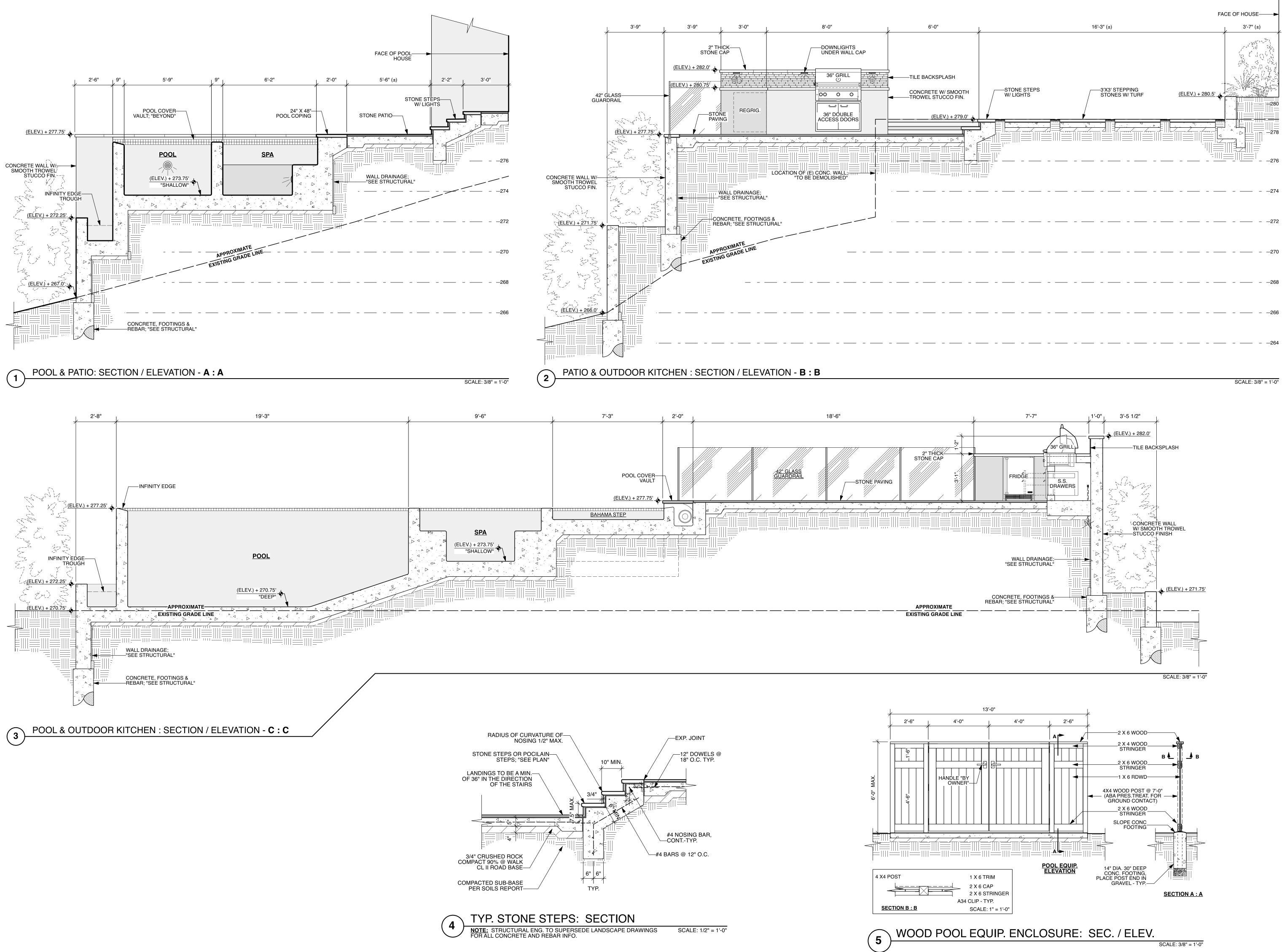
PLANTING PLAN



MMWD SUB. EO BUILDING SUB. EO ALL DRAWINGS AND WRITTEN MATERIAL APPEARING
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LANDSCAPE

**IRRIGATION PLAN** 





139 GILMARTIN DRIVE TIBURON, CA 94920 AP #: 039-290-33

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**POSNE** 

SOLANDOS CAPE ARCHIVES

L6.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES CAUSED BY THE PERFORMANCE OF HIS WORK, ALL REPAIRS SHALL BE MADE AT NO COST TO THE OWNER. 3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY REQUIRED FEES PER CONTRACT AND OWNERS AGREEMENT. THE HOMEOWNER SHALL ASSUME RESPONSIBILITY FOR **OBTAINING NECESSARY PERMITS** 

4. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT USA 800-642-244 PRIOR TO DEMOLITION AND FIELD LOCATE ALL KNOWN, BURIED UTILITIES. ONCE LOCATED, THE CONTRACTOR SHALL PROCEED WITH DUE CAUTION DURING ANY UNDERGROUND OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ALL DISTURBED UTILITIES. 5. THE CONTRACTORS ARE REQUIRED TO CARRY LIABILITY, WORKMAN'S COMPENSATION AND PROPERTY DAMAGE INSURANCE. 6. HAUL FROM OWNERS PROPERTY THE DEBRIS RESULTING FROM DEMOLITION AND DISPOSE OF IT

LEGALLY. 7. ALL DEBRIS IS TO BE RECYCLED PER FEASIBILITY AND MUNICIPAL REQUIREMENTS (IF ANY). **DRAINAGE** 

1. ALL DRAINAGE SYSTEMS ARE TO BE PERFORMANCE TESTED TO DETERMINE CURRENT FUNCTIONALITY AND OUTFALL LOCATION. DRAINAGE SYSTEMS THAT ARE NOT FUNCTIONING ARE TO BE 2. ALL SITE DRAINAGE TO BE REMAIN WITH THE EXCEPTION OF ANY DRAINS OR DRAIN PIPE THAT INTERFERE WITH NEW CONSTRUCTION. ANY DRAINAGE STRUCTURES THAT INTERFERE WITH NEW CONSTRUCTION SHALL BE RELOCATED AS NECESSARY.

MORTAR SET STONE WALLS @ YEAR YARD

1. NOTE THE PORTIONS OF THE STONE WALLS THAT ARE TO BE REMOVED IN THE REAR YARD. ALL
STONE MATERIAL IS TO BE STOCKPILED AND REUSED IN THE CONSTRUCTION OF THE NEW STONE WALLS. CONCRETE WALKWAYS @ REAR YARD

1. THE CONCRETE PATHWAY IN THE REAR YARD IS TO BE REMOVED AS SHOWN

2. PER THE STRUCTURAL ENGINEER DETAILS, SOME OF THIS MATERIAL MAY BE REUSED AS WALL BACKFILL MATERIAL

CONCRETE RETAINING WALL W/ STUCCO FIN. @ REAR YARD

1. A PORTION OF THE EXISTING CONCRETE RETAINING WALL AT THE LAWN TERRACE TO BE REMOVED

METAL HANDRAIL @ REAR YARD

1. THE METAL HANDRAIL IN THE REAR YARD IS TO BE REMOVED AS SHOWN. IT WILL BE REPLACED WITH A NEW GLASS HANDRAIL.

LAWN @ REAR YARD

1. THE LAWN AT THE REAR YARD IS TO BE REMOVED AS SHOWN

LANDSCAPE LIGHTING W/ IN LIMIT OF WORK

1. ALL LANDSCAPE LIGHTING WITHIN THE LIMIT OF WORK IS TO BE REMOVED AND REPLACED. TRANSFORMERS TO BE REUSED IN THE NEW LOW VOLTAGE / LANDSCAPE LIGHTING INSTALLATION. IRRIGATION W/ IN LIMIT OF WORK IRRIGATION AND CONTROLLERS WITHIN THE LIMIT OF WORK, ARE TO BE REPLACED

VALVES AND VALVE BOXES ARE TO BE REUSED PER CONTRACTOR RECOMMENDATIONS. 3. ALL HEADS AND DRIP IRRIGATION COMPONENTS ARE TO BE REMOVED AND REPLACED, WITHIN THE LIMIT OF WORK.

<u>PLANT MATERIAL</u>

1. NOTE THAT ALL TRANSPLANTING OPERATIONS ARE TO PERFORMED BY THE HOMEOWNERS GARDENERS. TRANSPLANTING OPERATIONS IS NOT IN THE LANDSCAPE BIDS. 2. TREES AND SHRUBS AS NOTED TO REMAIN. THE GARDENER IS RESPONSIBLE FOR MAINTAINING THE HEALTH OF THE EXISTING PLANT MATERIAL DURING CONSTRUCTION. 3. TREES AND SHRUBS AS NOTED TO BE TRANSPLANTED. THE GARDENER IS RESPONSIBLE FOR DIGGING A GENEROUS ROOTBALL AND TAKING GREAT CARE IN TRANSPLANT OPERATIONS. DURING CONSTRUCTION ALL PLANT MATERIAL SHALL BE STORED IN SHADED AREAS AND BE IRRIGATED ON A REGULAR BASIS.

4. ALL POISON OAK AND SCOTCH BROOM ARE TO BE REMOVED FROM WITHIN THE FENCED AREAS OF THE YARD. 5. ALL TREES GREATER THAN 14" IN DIAMETER THAT ARE TO BE REMOVED ARE TO BE REMOVED BY A PROFESSIONAL TREE SERVICE COMPANY ... NOT IN LANDSCAPE BID. 6. TREE ROOTS ARE TO BE GROUND DOWN A MINIMUM OF 12: AND / OR DUG OUT COMPLETELY. TREE PROTECTION NOTES

1. INDIVIDUAL TREES AND SHRUBS WHICH ARE TO REMAIN ARE TO BE PROTECTED WITH THE PLACEMENT OF PROTECTIVE PLASTIC MESH FENCE MATERIAL AT LEAST 36" IN HEIGHT. 2. PROTECTIVE FENCING TO FOLLOW THE DRIP LINE OF THE TREE AND BE FIRMLY ANCHORED TO THE GROUND AT ADEQUATE DISTANCE TO PROTECT THE TREE. 3. NO MATERIAL SHALL BE STOCKPILED: NO EQUIPMENT PARKED, REPAIRED, OR REFUELED; AND NO OIL, GASOLINE, PAINT, OR OTHER CONTAMINANTS DUMPED OR STORED WITHIN 25 FEET OF THE DRIP-LINE OF TREES AND SHRUBS THAT ARE REMAIN.

1. CONTACT THE HOMEOWNER FOR DIRECTION REGARDING THE REMOVAL OF ANY GARDEN ORNAMENT, FURNITURE, PLAY EQUIPMENT, HOT TUB, ETC.

#### **CONSTRUCTION NOTES** GENERAL NOTES

1. ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH APPLICABLE BUILDING CODES: 2019 California Building Code (CBC), 2019 California Electrical Code (CEC), 2019 California Mechanical Code (CMC), 2019 California Pľumbing code(CPC), 2019 California Fire Code (CFC), 2019 California Green Building Standards Code (CAL Green), 2019 California Energy Code (CEnC), 2019 Building Energy Efficiency Standards, 2019 California Residential Code (CRC), & County of Marin Local Codes. 2. THIS PROJECT IS IN A WUI ZONE AND WILL CONFORM TO ALL VEGETATION MANAGEMENT

3. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. SIMILAR CONDITIONS SHALL BE BUILT IN ACCORDANCE WITH THE INFORMATION SHOWN SUBJECT TO THE LANDSCAPE

4. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ALL CONFLICTING OR MISSING INFORMATION PRIOR TO COMMENCING WORK. 5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LOCATIONS OF EMBEDDED ITEMS, ETC. PRIOR TO COMMENCING WORK. SHOULD ANY CONDITIONS EXIST OR RESULT DURING CONSTRUCTION WHICH DIFFER FROM THOSE DETAILED ON THE ARCHITECTURAL DRAWINGS. THE LANDSCAPE ARCHITECT SHALI BE NOTIFIED IMMEDIATELY.

6. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DETERMINATION AND EXECUTION OF THE METHODS OF CONSTRUCTION. INCLUDING ALL TEMPORARY CONDITIONS AND SUPPORTS. SITE VISIT THE ARCHITECT WILL NOT INCLUDE INSPECTION OF METHODS OF CONSTRUCTION OR SAFETY

7. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF ADJACENT PROPERTIES, STRUCTURES, STREETS, AND UTILITIES. 8. STRUCTURAL OBSERVATION SHALL BE REQUIRED BY THE PROJECT ENGINEER FOR CONFORMANCE TO THE APPROVED PLANS. 9. THE CONTRACTOR SHALL GIVE THE ARCHITECT & ENGINEERS SUFFICIENT NOTICE (48 HOURS MIN.) FOR ON-SITE CONSTRUCTION REVIEW OF AT LEAST THE FOLLOWING: a. FOUNDATION EXCAVATION AND GRADING, b. REINFORCING CONCRETE PRIOR TO PLACEMENT OF CONCRETE, c. STRUCTURAL FRAMING.

10.THESE PLANS ARE THE PROPERTY OF THE PROJECT DESIGNERS AND ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY WORK OTHER THAN THE LOCATION SHOWN HERE ON. 11.SWIMMING POOL CONTRACTOR TO PROVIDE CERTIFICATE OF INSTALLATION FORM CF2R-PLB-03E TO INSPECTOR PRIOR TO FINAL.

ROUGH-IN ELECTRICAL, PLUMBING AND MECHANICAL. d. SHEET ROCK NAILING. e. INSPECTION OF

1. THE LANDSCAPE LAYOUT PLAN IS BASED ON DRAWINGS PROVIDED BY THE OWNER, SITE MEASUREMENTS AND A PROFESSIONAL SURVEY. ANY MAJOR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.

2. THESE DOCUMENTS HAVE BEEN PREPARED FOR THE PURPOSE OF CONVEYING DESIGN INTENT, IN TERMS OF LOCATION, FORM, FINISHES AND COLORS OF LANDSCAPE IMPROVEMENTS. 3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ROUGHLY LAYOUT SITE FEATURES PRIOR TO BEGINNING CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE DESIGNER. 4. EXACT LAYOUT OF ALL LANDSCAPE ELEMENTS TO BE LAID OUT AND STAKED BY A LICENSED SURVEYOR 5. CONTACT THE LA FOR ANY CRITICAL DIMENSIONS NOT SHOWN ON PLANS. ANY SCALED

MEASUREMENTS TO BE CONFIRMED WITH THE LANDSCAPE ARCHITECT (LA) PRIOR TO CONSTRUCTION. 6. SEE ALSO ARCHITECT, CIVIL ENGINEERING AND STRUCTURAL ENGINÉERING DRAWINGS AND CALCULATIONS FOR FURTHER INFORMATION. 7. ALL TREES AND SHRUBS TO REMAIN AS SHOWN. SEE ARBORIST REPORT FOR INDIVIDUAL TREE PRESERVATION AND PROTECTION REQUIREMENTS.

**GRADING AND EROSION CONTROL** 1. ROUGH GRADING AND EXCAVATION TO BE PERFORMED AND / OR COORDINATED WITH THE GENERAL CONTRACTOR.

2. PROJECT HAS BEEN DESIGNED TO ACHIEVE A BALANCED CUT / FILL RATIO. NO EXCAVATED MATERIAL SHOULD NEED TO BE RELOCATED OFF SITE. 3. SEE CIVIL ENGINEER DRAWINGS FOR CUT FILL CALCULATIONS AND OTHER GRADING 4. EROSION CONTROL MEASURES ARE TO BE INSTALLED ACCORDING TO COUNTY OF MARIN CODES

**REQUIRED DRAINAGE** 1. EXACT DRAINAGE LOCATION SHOWN ON PLAN IS DIAGRAMMATIC AND MAY BE SLIGHTLY ADJUSTED IN FIELD. SEE CIVIL DRAWINGS FOR FURTHER INFORMATION. 2. ALL PATIOS TO DRAIN INTO PLANTING AREAS AND DRAIN INLETS AT A 1 1/2% GRADE. ELEVATIONS SHOWN ON DRAWING ARE APPROXIMATE AND TO CLARIFY DESIGN INTENT ONLY.

AND TOWN REQUIREMENTS. EROSION CONTROL DRAWING TO BE COMPLETED BY THE CIVIL ENGINEER AS

3. ALL DRAIN INLETS AT FLAGSTONE PATIO LOCATIONS TO BE 6" DIAMETER BRASS, BY NDS OR EQUAL LANDSCAPE DRAIN INLETS TO BE 6" DIAMETER BLACK PLASTIC, BY NDS OR EQUAL 4. LANDSCAPE DRAIN INLETS TO RECEIVE 2" LAYER OF 3/4" COBBLE TO CONCEAL COVER. 5. ALL WALLS TO RECEIVE DRAINAGE PER STRUCTURAL ENGINEER RETAINING WALL DETAILS. 6. SEE ALSO CIVIL ENGINEERING DRAWINGS AND CALCULATIONS FOR ALL GRADING AND DRAINAGE

SPECIFICATIONS. NOTE: CIVIL ENGINEER DRAWINGS ARE TO SUPERSEDE LANDSCAPE DRAWINGS FOR TECHNICAL INFORMATION. 7. EXACT DRAINAGE OUTFALL LOCATION TO BE DETAILED AND LOCATED BY THE CIVIL ENGINEER. SWIMMING POOL / SPA

1. SEE STRUCTURAL ENGINEERING DRAWINGS AND CALCY ATIONS FOR ALL POOL ENGINEERING

SPECIFICATIONS. NOTE: STRUCTURAL ENGINEER DRAWING'S ALE TO SUPERSEDE LANDSCAPE DRAWINGS FOR TECHNICAL INFORMATION. . THE POOL CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY MECHANICAL ENGINEERING FOR THE POOL AND SPA AND OBTAIN THE NECESSARY BUILDING PERMITS AS REQUIRED. 3. CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY OF MECHANICAL EQUIPMENT CUT-SHEETS FOR A FULLY OPERATIONAL. CODE COMPLIANT, SAFE AND ACCEPTABLE POOL AND SPA. ALL MECHANICAL SPECIFICATIONS AND OPTIONS ARE TO BE SUPPLIED BY THE POOL CONTRACTOR TO THE OWNER FOR REVIEW. POOL AND SPA EQUIPMENT TO BE LOCATED BELOW THE GARAGE AND MUST BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS.

SWIMMING POOL / SPA

1. SEE STRUCTURAL ENGINEERING DRAWINGS AND CALCULATIONS FOR ALL POOL ENGINEERING SPECIFICATIONS. NOTE: STRUCTURAL ENGINEER DRAWINGS ARE TO SUPERSEDE LANDSCAPE DRAWINGS

FOR TECHNICAL INFORMATION. 2. THE POOL CONTRACTOR SHALL BE RESPONSIBLE TO SUPPLY MECHANICAL ENGINEERING FOR THE POOL AND SPA AND OBTAIN THE NECESSARY BUILDING PERMITS AS REQUIRED. 3. CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY OF MECHANICAL EQUIPMENT CUT-SHEETS FOR A FULLY OPERATIONAL, CODE COMPLIANT, SAFE AND ACCEPTABLE POOL AND SPA. ALL MECHANICAL SPECIFICATIONS AND OPTIONS ARE TO BE SUPPLIED BY THE POOL CONTRACTOR TO THE OWNER FOR REVIEW. POOL AND SPA EQUIPMENT TO BE LOCATED IN A WOOD POOL EQUIPMENT ENCLOSURE, LOCATED

4. POOL TO INCLUDE FULLY AUTOMATIC COVER WITH A WALK-ON FLAGSTONE LID. CONTRACTOR TO PROVIDE CUT SHEET SPECIFICATIONS FOR POOL COVER PRODUCT AND INSTALLATION REQUIREMENTS. 5. FLAGSTONE COPING TO BE CONNECTICUT BLUE - BLUE/GREY WITH A FLAME FINISH ON THE TOP AND ANY EXPOSED FACE. EASED EDGES ON ALL EXPOSED SIDES. COPING TO BE 2" CONSISTENT THICKNESS, 24" IN WIDTH. CONTRACTOR TO PROVIDE A MATERIAL SAMPLE SELECTION FOR OWNER REVIEW PRIOR TO ORDERING THE FLAGSTONE FOR THE ENTIRE COPING AREA. COPING AREA TO

INCLUDE THE CAP AT THE TROUGH BELOW THE INFINITY EDGE. 6. CONTRACTOR SHALL SUPPLY OWNER A ONE YEAR GUARANTEE FOR ALL POOL AND SPA EQUIPMENT FUNCTIONS. 7. TILE @ POOL WALLS, INFINITY EDGE AND UNDERWATER STEP NOSING ARE TO BE DETERMINED.

CONTRACTOR TO PROVIDE AN ALLOWANCE OF \$ 14.00 / SQUARE FOOT FOR BIDDING PURPOSES. 8. INTERIOR CONTROLS FOR SPA MECHANICAL AND UNDERWATER LIGHTING TO BE DETERMINED AND COORDINATED WITH THE ARCHITECTURAL DRAWINGS.

9. FOR BID PURPOSES, A TOTAL OF 10 JETS ARE TO BE INCLUDED IN THE SPA 10.THE DECORATIVE JETS ARE TO BE DISCUSSED WITH THE HOMEOWNER.

11.TO ALLOW FOR FUTURE SOLAR HEATING EQUIPMENT, AT LEAST AT LEAST 36" OF PIPE IS TO BE INSTALLED BETWEEN THE FILTER AND HEATER OR DEDICATED SUCTION AND RETURN LINES ARE INSTALLED, OR BUILT OR BUILT UP CONNECTIONS FOR FUTURE SOLAR HEATING ARE PROVIDED. 12.RETURN PIPE DIAMETER TO BE 2". SUCTION PIPE DIAMETER TO BE 2 1/2". FILTER AREA TO BE AT LEAST AS LARGE AS THE REQUIRED MINIMUMS SHOWN IN THE TABLES. ALTERNATIVELY, A FLOW CALCULATION TEST RESULT SHALL BE PROVIDED TO DEMONSTRATE THAT THE PUMP FLOW RATE IS LESS THAN 6 HOUR FILTRATION TURN OVER, AND THE RETURN PIPE FLOW RATE DOES NOT EXCEED 8' PER SECOND AND THAT THE SUCTION PIPE FLOW RATE DOES NOT EXCEED 6' PER SECOND 13.SUCTION SIDE PIPE IS TO BE STRAIGHT FOR AT LEAST 4" PIPE DIAMETERS BEFORE ENTERING THE

14.ALL ELBOWS ARE TO BE SWEEP ELBOWS. OR AN EYEBROW TYPE THAT HAS A PRESSURE DROP

THAT IS LESS THAN THE PRESSURE DROP OF A STRAIGHT PIPE WITH A LENGTH OF 30 PIPE DIAMETERS.

1) EQUIPOTENTIAL BONDING 680.26 (A), (B) & (C):
ALL OF THE BONDED PARTS IN OR AROUND THE SWIMMING POOL MUST BE ATTACHED TO AN
EQUIPOTENTIAL BONDING GRID. THIS GRID MUST EXTEND 3' BEYOND THE INSIDE SURFACE OF THE POOL UNDER CONCRETE, STONE OR OTHER PAVED WALKING SURFACES. THIS GRID CAN CONSIST OF THE

FOLLOWING: REINFORCING STEEL. UNCOATED REINFORCING STEEL OF A CONCRETE POOL (POURED OR SPRAYED, WITH PAINTED OR PLASTER COATINGS) CAN BE USED AS THE EQUIPOTENTIAL BONDING GRID. COPPER GRID, A GRID CONSTRUCTED WITH A MINIMUM OF #8 AWG BARE SOLID COPPER CONDUCTORS CONNECTED A MINIMUM OF 4 TIMES EQUALLY SPACED AROUND THE POOL PERIMETER. .(C) AN INTENTIONAL BOND OF A MINIMUM CONDUCTIVE AREA OF 9 SQ. INCHES SHALL BE INSTALLED IN CONTACT WITH THE POOL WATER. THIS BOND SHALL BE PERMITTED TO CONSIST OF PARTS THAT ARE REQUIRED TO BE BONDED IN CEC ARTICLE 680.26 (C).

2) CALIFORNIA SWIMMING POOL SAFETY ACT 115920:

AQUASTAR PART # 32CDFLFR)

115922: DROWNING PREVENTION SAFETY FEATURE #3 FROM THE CALIFORNIA SWIMMING POOL SAFETY ACT 115922 (A) (3) THE POOLS AND SPA SHALL BE EQUIPPED WITH AN APPROVED POOL SAFETY POOL COVER THAT MEETS ALL OF THE REQUIREMENTS OF THE ASTM SPECIFICATIONS F1346. ASTM F 1346-91 APPROVED SAFETY COVER "INFINITY 4000 BY POOL COVERS INC") AND A ASTM APPROVED FLOATING

3) 115928.5: ANTI-ENTRAPMENT (1)(A) THE SUCTION OUTLET OF THE POOL OR SPA SHALL BE EQUIPPED TO PROVIDE CIRCULATION THROUGHOUT THE POOL OR SPA AS PRESCRIBED IN PARAGRAPH (2) BELOW. (B) ALL SKIMMER EQUALIZER LINES SHALL BE COVERED WITH ANTI-HAIR ENTANGLEMENT/ANTI ÈNTRAPMENT GRATES AND INSTALLED AS PRESCRIBED IN PARAGRAPH (2) THE SWIMMING POOL OR SPA SHALL HAVE AT LEAST TWO CIRCULATION DRAINS PER PUMP THAT SHALL BE HYDRAULICALLY BALANCED AND SYMMETRICALLY PLUMBED THROUGH ONE OR MORE "T" FITTINGS, AND THAT ARE SEPARATED BY A DISTANCE OF AT LEAST THREE FEET IN ANY DIMENSION BETWEEN THE DRAINS OR BE COVERED WITH A SINGLE "UN-BLOCKABLE" COVER AS SPECIFIED IN THE ASME/ANSI

**STANDARD A 112.19.8** (B)SUCTION OUTLETS THAT ARE LESS THAN 12 INCHES ACROSS SHALL BE COVERED WITH ÀŃTI-EŇŤRAPMENT GRATES, AS SPECIFIED IN THE ASME/ANSI STANDARD A 112.19.8, THAT CANNOT BE REMOVED EXCEPT WITH THE USE OF TOOLS. SLOTS OR OPENINGS IN THE GRATES OR SIMILAR PROTECTIVE DEVICES SHALL BE OF A SHAPE, AREA, AND ARRANGEMENT THAT WOULD PREVENT PHYSICAL ENTRAPMENT, HAIR ENTANGLEMENT AND WOULD NOT POSE ANY SUCTION HAZARD TO SEE DETAIL 2 BELOW ON THIS SHEET FOR THE PUMP SUCTION COVER THAT WILL BE USED BY

4) CODES - CALIFORNIA BUILDING STANDARDS: "ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS. SHALL COMPLY WITH THE CALIFORNIA SWIMMING POOL SAFETY ACT. ALL BELVEDEREN MUNICIPAL CODES AND REGULATIONS, 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, AND 2019 CALIFORNIA ENERGY

5) POOL EQUIPMENT SPECIFICATIONS: (FILTERS) PENTAIR CLEAN AND CLEAR 520 SQ FT CARTRIDGE FILTER. (FILTER PUMPS) PENTAIR INTELLIFLO VARIABLE SPEED, 230 VOLT, 16 AMPS, SINGLE PHASE. (SPA JET PUMP) PENTAIR 2 HP WHISPERFLOW, 230 VOLT, 12 AMPS, SINGLE PHASE. (HEATERS) JANDY HI-E 2, 350,000 BTU, NATURAL GAS WITH A 95% EFFICIENCY RATING. *(POOL AUTOMATION CONTROLLER)* PENTAIR TELLITOUCH I-9 WITH IPHONE INTERFACE (NOTE, CONTROLLER HAS BUILT IN PUMP TIMERS AND HEATER THERMOSTATS). (LIGHTS) JANDY (WHITE) LED 12 VOLT WITH GFCI PROTECTION PER ARTICLE (CEC 680.23 A (3)) *(SANITIZÉRS)* HAYWARD AQÙARITE SALT CHLORINE GENERATOR.

6) CONVENIENCE RECEPTACLE (OUTLET) CEC 680.22 (A)(2) **(Á)** AT LEAST ONE (1) 15 – 20 AMPÈRE CONVENIENCE RÈCÈPTACLE MUST BE LOCATED NO CLOSER THAN 6' FÉET BUT NO FURTHER THAN 20' FEET FROM THE OUTSIDE OF THE POOL WALL. *(B)* CONVENIENCE RECEPTACLE (OUTLET) SHALL SEPARATE FROM THE POOL PUMP RECEPTACLE WIRING. (C) CONVENIENCE RECEPTACLE (OUTLET) MUST BE GFCI (GROUND FAULT) PROTECTED. (D) CONVENIENCE RÉCEPTACLE (OUTLET) SHALL HAVE AN APPLICABLE WEATHERPROOF OR DAMP COVER WERE EXPOSED OR LOCATED. OUTDOORS AND WHEN A CORD IS PLUGGED IN, UL LISTED / TESTED (IN USE TYPE COVER).

7) WATER BONDING: (NEC) 680,26(C) "POOL WATER SHALL HAVE AN ELECTRICAL CONNECTION TO ONE OR MORE OF THE BONDED PARTS DESCRIBED IN 680.26(B). WHERE NONE OF THE BONDED PARTS IS IN DIRECT CONNECTION WITH THE POOL WATER, THE POOL WATER SHALL BE IN DIRECT CONTACT WITH AN APPROVED CORROSION-RESISTANT CONDUCTIVE SURFACE THAT EXPOSES NOT LESS THAN 5800 MM2 (9 IN 2) OF SURFACE AREA TO THE POOL WATER AT ALL TIMES. THE CONDUCTIVE SURFACE SHALL BE LOCATED WHERE IT IS NOT EXPOSED TO PHYSICAL DAMAGE OR DISLODGEMENT DURING USUAL POOL ACTIVITIES, AND IT SHALL BE BONDED IN ACCORDANCE WITH 680.26(B)."

8) SECTION 114 - CEC. MANDATORY REQUIREMENTS FOR POOL AND SPA SYSTEMS AND EQUIPMENT Á) **CERTIFICATION BY MANUFACTURERS**. ANY POOL OR SPA HEATING SYSTEM OR EQUIPMENT MAY BE NSTALLED ONLY IF THE MANUFACTURER HAS CERTIFIED THAT THE SYSTEM OR EQUIPMENT HAS ALL OF THE FOLLOWING: 1. EFFICIENCY. A THERMAL EFFICIENCY THAT COMPLIES WITH THE APPLIANCE EFFICIENCY REGULATIONS; AND 2. ON-OFF SWITCH. A READILY ACCESSIBLE ON-OFF SWITCH. MOUNTED ON THE OUTSIDE OF THE HEATER THAT ALLOWS SHUTTING OFF THE HEATER WITHOUT ADJUSTING THE THERMOSTAT SETTING; AND 3. INSTRUCTIONS. A PERMANENT. EASILY READABLE. AND WEATHERPROOF PLATE OR CARD THAT GIVES INSTRUCTION FOR THE ENERGY EFFICIENT OPERATION OF THE POOL OR SPA HEATER AND FOR THE PROPER CARE OF POOL OR SPA WATER WHEN A COVER IS USED; AND 4. ELECTRIC RESISTANCE HEATING. NO ELECTRIC RESISTANCE HEATING: AND EXCEPTION 1 TO SECTION 114(A)4: LISTED PACKAGE UNITS WITH FULLY INSULATED ENCLOSURES, AND WITH TIGHT-FITTING COVERS THAT ARE INSULATED TO AT LEAST R-6. EXCEPTION 2 TO SECTION 114(A)4: POOLS OR SPAS DERIVING AT LEAST 60 PERCENT OF THE ANNUAL HEATING ENERGY FROM SITE SOLAR ENERGY OR RECOVERED ENERGY.(B) INSTALLATION. ANY POOL OR SPA SYSTEM OR EQUIPMENT SHALL BE INSTALLED WITH ALL OF THE FOLLOWING: 1. **PIPING**. AT LEAST 36 INCHES OF PIPE SHALL BE INSTALLED BETWEEN THE FILTER AND THE HEATER OR DEDICATED SUCTION AND RETURN LINES, OR BUILT-IN OR BUILT-UP CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR THE FUTURE ADDITION OF SOLAR HEATING EQUIPMENT: AND 2. COVERS. A COVER FOR OUTDOOR POOLS OR OUTDOOR SPAS THAT HAVE A HEAT PUMP OR GAS HEATER. 3. **DIRECTIONAL INLETS AND TIME SWITCHES FOR POOLS**. IF THE SYSTEM OR EQUIPMENT IS FOR A POOL (A). THE POOL SHALL HAVE DIRECTIONAL INLETS THAT ADEQUATELY MIX THE POOL WATER: AND (B). A TIME SWITCH OR SIMILAR CONTROL MECHANISM SHALL BE INSTALLED AS PART OF THE POOL WATER CIRCULATION CONTROL SYSTEM THAT WILL ALLOW ALL PUMPS TO BE SET OR PROGRAMMED TO RUN ONLY DURING THE OFF-PEAK ELECTRIC DEMAND PERIOD AND FOR THE MINIMUM TIME NECESSARY TO MAINTAIN THE WATER IN THE CONDITION REQUIRED BY APPLICABLE PUBLIC HEALTH STANDARDS.

9) WATER SUPPLY INLET TO BE PROVIDED WITH BACK-FLOW PREVENTION DEVICE PER CPC 603.4.5.

10) WASTE WATER ~ ALL CONSTRUCTION PLANS SUBMITTED PURSUANT TO ANY PERMIT APPLICATION SHALL CONSIDER THE POTENTIAL FOR EROSION AND SEDIMENT AT THE CONSTRUCTION SITE AND SHALL COMPLY WITH ALL COUNTY. CITY AND STATE CODES. ALSO ANY CONSTRUCTION CONTRACTOR PERFORMING WORK SHALL IMPLEMENT APPROPRIATE BMPS TO PREVENT DISCHARGE OF CONSTRUCTION WASTE OR CONTAMINANTS FROM CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT FROM ENTERING A COUNTY STORM DRAIN SYSTEM.

11) DRAINING SWIMMING POOLS AND SPAS ~ WHEN DRAINING A POOL FOR SERVICE, USE A PORTABLE SUMP PUMP AND SLOWLY DRAIN THE WATER ONTO THE LANDSCAPE WERE THE WATER CAN BE ABSORBED BY THE SOIL WITHOUT EROSION. THE WATER SHALL BE DE-CHLORINATED / DE-BROMINATED PRIOR TO DISCHARGE AND THE PH MUST BE BETWEEN 6.5 AND 8.5. NO WATER CAN DISCHARGE INTO A WATERCOURSE PURSUANT TO ALL CITY, COUNTY AND STATE CODES.

SWIMMING POOL ELECTRICAL

1. ALL LINE VOLTAGE ELECTRICAL INSTALLATION IS TO BE PERFORMED BY A LICENSED ELECTRICAL

CONTRACTOR AND PER CODE REQUIREMENTS. 2. SWIMMING POOL TO INCLUDE 50 AMP SERVICE FROM EXISTING MAIN PANEL TO POOL EQUIPMENT SUB-PANEL. SUB PANEL TO BE LOCATED IN POOL EQUIPMENT SHED AND MEET ALL INSTALLATION CODE AND CLEARANCE REQUIREMENTS.

3. SWIMMING POOL TO INCLUDE (3) PENTAIR LED LAMPS. EACH LAMP IS 120 VOLT AND 100 WATTS. 4. POOL COVER SWITCH TO BE INSTALLED AT HOUSE WALL AS SHOWN. SWITCH TO MEET ALL CODE REQUIREMENTS PER ASTM 1346. 5. POOL CONTROLLER TO BE PENTAIR INTELLI-TOUCH. CONTROLLER TO BE MOUNTED AT HOUSE INTERIOR (AS SHOWN) AND TIED INTO THE MAIN HOUSE ELECTRICAL SYSTEM.

6. ALL ÈLECTRICAL POOL FUNCTIONS AND EXTERIOR LANDSCAPE LIGHTING IS TO BE CONTROLLED BY THE POOL CONTROLLER. . A GFI PROTECTED RECEPTACLE ON A GENERAL PURPOSE BRANCH CIRCUIT IS REQUIRED. IT SHALL BE LOCATED A MINIMUM OF 6' AND A MAXIMUM OF 20' FROM THE INSIDE WALL OF THE POOL, SPA OR HOT

8. SWIMMING POOL CONTRACTOR IS TO PROVIDE ENERGY COMPLIANCE DOCUMENTATION FOR THE MANDATORY MEASURES FOR RESIDENTIAL SWIMMING POOLS PER THE 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS, SECTION 110.4, 110.5 150.0(P)

STRUCTURAL RETAINING WALLS

1. SEE STRUCTURAL ENGINEERING DRAWINGS AND CALCULATIONS FOR ALL ENGINEERING SPECIFICATIONS. NOTE: THIS INCLUDES ALL REINFORCEMENT, STRUCTURAL DIMENSIONING, STRUCTURAL CONNECTION ISSUES, DRAINAGE AND WATERPROOFING FOR CONCRETE RETAINING WALLS, THE SEAT WALL, BBQ, WALL FOUNTAIN, PEDESTALS, STEPS AND PAVING. 2. STRUCTURAL ENGINEER DRAWINGS ARE TO SUPERSEDE STRUCTURAL INFORMATION SHOWN ON LANDSCAPE DRAWINGS.

3. THESE DOCUMENTS HAVE BEEN PREPARED FOR THE PURPOSE OF CONVEYING DESIGN INTENT, IN TERMS OF LOCATION, FORM, FINISHES AND COLORS OF LANDSCAPE IMPROVEMENTS. 4. CONTACT THE LA FOR ANY CRITICAL DIMENSIONS NOT SHOWN ON PLANS. ANY SCALED

MEASUREMENTS TO BE CONFIRMED WITH THE LA PRIOR TO CONSTRUCTION.

STUCCO FINISH WALLS ARE AS NOTED ON THE PLANS. STUCCO TO MATCH COLOR AND TEXTURE OR (E) STUCCO WALLS. COLOR AND TEXTURE TO BE MOCKED UP FOR OWNER AND LA REVIEW AND

MORTAR SET STONE WALLS "TO MATCH EXISTING"

1. ALL VISIBLE STONE IS TO MATCH EXISTING MORTAR SET SERPENTINE STONE WALLS. ALL WALL BACKING MATERIAL IS TO BE RECYCLED NON ORGANIC (CONCRETE / PAVERS) FROM DEMOLITION, OR INEXPENSIVE SAN RAFAEL QUARRY ROCK OR RECYCLED CONCRETE RUBBLE. SEE CONSTRUCTION DETAIL FOR FURTHER INFORMATION.

STAIRWAY AND LANDINGS (CODE REQUIREMENTS - SEE DRAWINGS FOR STAIR DETAILS)

1. STAIR WIDTH TO BE A MINIMUM OF 36" CLEAR

2. STAIR RISER HEIGHT SHALL BE 7.75" MAXIMUM. STAIR TREAD DEPTH TO BE 10" MINIMUM.

THE RADIUS OF CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 9/16" 4. OUTDOOR STAIRWAYS AND OUTDOOR APPROACHES TO STAIRWAYS SHALL BE DESIGNED SO THAT THE WATER WILL NOT ACCUMULATE ON WALKING SURFACES. 5. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS

OR FLIGHT WITH FOUR OR MORE RISERS. 6. SOLID RISERS ARE REQUIRED, OR RISERS SHALL BE SUFFICIENTLY SOLID TO PREVENT THE 7. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED

FLAGSTONE PAVING AND DETAILS 1. ALL FLAGSTONE COPING TO BE CONNECTICUT BLUE - BLUE/GREY WITH A FLAME FINISH ON THE TOP AND ANY EXPOSED FACE. EASED EDGES ON ALL EXPOSED SIDES.

2. CONTRACTOR TO PROVIDE A MATERIAL SAMPLE SELECTION FOR OWNER REVIEW PRIOR TO ORDERING THE FLAGSTONE FOR THE ENTIRE COPING AREA. PURCHASED FIRE PIT "RESTORATION HARDWARE - XTAPA ROUND FIRE PIT"

1. GAS MANIFOLD TO OPERATE FROM EXITING PRESSURIZED GAS LINE CONNECTED TO

MANUFACTURED UNIT. 2. ALL COMPONENTS ARE TO BE INSTALLED PER LOCAL CODE AND REQUIREMENTS.

BAR-B-QUE . GRILL TO OPERATE FROM 3/4" DIAMETER GAS LINE. COORDINATE EXACT LOCATION AND CONFIGURATION WITH ARCHITECTURAL DRAWINGS AND GENERAL CONTRACTOR AND HOMEOWNER. 2. TILE @ BBQ COUNTER TO BE SELECTED AND PURCHASED BY THE HOMEOWNER. TILE MUST HAVE A BULLNOSE EDGE PIECE. CONTRACTOR SHALL ASSUME A 4" SQ. TILE FOR BIDING PURPOSES. 3. FLAGSTONE AT BBQ COUNTER TO BE CONNECTICUT BLUE - BLUE/GREY WITH A FLAME FINISH ON THE TOP AND ANY EXPOSED FACE. EASED EDGES ON ALL EXPOSED SIDES. 2" CONSISTENT THICKNESS. BBQ COUNTER TO BE SEALED FOLLOWING INSTALLATION. 4. INTERIOR WALL FINISH @ BBQ TO BE STUCCO WITH INTEGRAL COLOR. FLOOR TO BE FINISHED

WITH MORTAR SET FLAGSTONE 5. GRILL AND ACCESSORIES TO BE PURCHASED BY THE HOMEOWNER. **BBQ APPLIANCES LIST** 

WOLF OG36 REFRIGERATOR: WOLF UC-24RO

THE SMALLEST BY MORE THAN 3/8"

ACCESS DOORS: WOLF 36" DOUBLE DOOR

STEEL BORDERS

1. BORDERS AT PATHWAY AND LAWN EDGE ARE TO BE RYERSON STEEL ON EDGE. (OR EQUAL). **PATHWAYS** 

1. CRUSHED ROCK @ PATHWAY(S) TO BE 3/8" - "PACIFIC GOLD" - 2" THICK MINIMUM OVER WEED BARRIER FARRIC 2. BORDERS AT PATHWAY ARE TO BE RYERSON STEEL ON EDGE. (OR EQUAL)

TIMBER STEPS TO BE 6X8 PRESSURE TREATED DOUGLAS FIR - SECURE EACH STEP WITH 3 - #5 REBAR 2'-0" INTO COMPACTED SUB-GRADE MINIMUM.
2. SAND EACH STEP PRIOR TO AND AGAIN FOLLOWING INSTALLATION.

1. CONTACT ACCESS CONTROL SYSTEMS @ 1-800 338-8198 FOR PEDESTRIAN IRON GATE
MECHANICAL EQUIPMENT, IRON GATE CONSTRUCTION, IRON FENCE CONSTRUCTION AND INSTALLATION.
2. CONTRACTOR TO ENSURE THAT THE NEW FENCE / GATES PROVIDES COMPLETE PROTECTION 3. GATE AND FENCE ENCLOSURE WILL MEETS THE REQUIREMENTS OF SECTION 115923 AND ISOLATES THE SWIMMING POOL OR SPA FROM THE PRIVATE SINGLE-FAMILY HOME. 4. A SELF-CLOSING. SELF-LATCHING DEVICE WITH A RELEASE MECHANISM PLACED NO LOWER THAN 54 INCHES ABOVE THE FLOOR ON THE PRIVATE SINGLE-FAMILY HOME'S DOORS PROVIDING DIRECT ACCESS TO THE SWIMMING POOL OR SPA.

HANDRAILS AND SAFETY RAILS

1. ALL HANDRAILS AND SAFETY RAILS ARE TO MEET OR EXCEED TOWN OF TIBURON BUILDING CODE REQUIREMENTS.

HANDRAIL REQUIREMENTS

A) HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS. B) EXCEPTION: STAIRS WITH FEWER THAN 4 RISERS DO NOT REQUIRE ANY HANDRAILS

C) HANDRAILS AND EXTENSIONS SHALL BE NOT LESS THAN 34NOR MORE THAN 38" ABOVE NOSING OF D) THE CLEAR SPACE BETWEEN THE HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MINIMUM

E) HANDRAILS SHALL BE CONTINUOUS. F) HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AN OUTSIDE DIAMETER OF AT LEAST 1.25" AND NOT GREATER THAN 2". IF A HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6.25" WITH A MAXIMUM CROSS SECTION DIMENSION OF 2.25". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".

6) HANDRAILS WITH A PERIMETER GREATER THAN 6.25" SHALL HAVE A GRASPABLE FINGER RECESS AREÁ ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITH A DISTANCE OF .75" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16" WITH 7/8" BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NOT LESS THAN 1 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4" TO A MAXIMUM OF 2 3/4". EDGES SHALL HAVE A RADIUS OF 0.01 INCH.

SAFETY RAILING REQUIREMENTS

A) GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, LANDINGS, ETC. THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36" HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. B) ALL GUARDS SSHALL NOT BE LESS THAN 42" ABOVE FINISH GRADE. MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS. GUARDS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34" NOR MORE THAN 38", MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACES. C) OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4" DIAMETER

SPHÉRE CANNOT PASS THROUGH ANY OPENINGS. D) OPEN GUARDS AT SIDES OF STAIR TREADS SHALL NOT ALLOW A SPHERE 4.375" TO PASS THROUGH.  $\acute{
m J}$  THE TRIANGULAR OPENINGS FORMED BY STAIR RISERS, TREAD AND BOTTOM OF RAIL AT THE OPEN SIDÉ OF THE STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH.

F) SCREENED PORCHES AND DECKS WHICH ARE ENCLOSED WITH INSECT SCREENING SHALL BE PROVIDED WITH GUARDS WHERE THE WALKING SURFACE IS LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. HANDRAILS AND GUARD REQUIREMENTS

A) HANDRAIL ASSEMBLIES AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD

OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SÚPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. B) INTERMEDIATE RAILS, BALUSTER AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A

HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO 1 SQ. FT., INCLUDING OPENINGS AND SPACE BETWEEN RAILS. C) NO OPENING SHALL ALLOW THE PASSAGE OF A 4" SPHERE.

D) CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR EXACT IRON HANDRAIL DETAILS. **GLASS SAFETY RAILS** 

CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL IRON HANDRAILS FOR OWNER, ARCHITECT AND LANDSCAPE ARCHITECT REVIEW AND APPROVAL. ALL HANDRAIL AND SAFETY RAILING DETAILS MUST BE CODE COMPLIANT. ELECTRICAL / UTILITIES

1. ALL LINE VOLTAGE ELECTRICAL INSTALLATION IS TO BE PERFORMED BY A LICENSED ELECTRICAL

CONTRACTOR 2. ALL NEW GFI OUTLETS ARE TO BE GFI PROTECTED AND INSTALLED PER LOCAL CODES AND REQUIREMENTS. OUTLETS TO BE INSTALLED BY A LICENSED ELECTRICIAN. 3. LANDSCAPE LIGHTING TO INCLUDE (2) LINE VOLTAGE TRANSFORMERS AND LOW VOLTAGE LANDSCAPE LIGHTING FIXTURES.

4. ALL LANDSCAPE LIGHTING IS TO BE CONTROLLED BY THE SWIMMING POOL CONTROLLER. 5. SWIMMING POOL TO INCLUDE 50 AMP SERVICE FROM EXISTING MAIN PANEL TO POOL EQUIPMENT SUB-PANEL. SUB PANEL TO BE LOCATED IN POOL EQUIPMENT SHED AND MEET ALL INSTALLATION CODE AND CLEARANCE REQUIREMENTS

SOIL PREPARATION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING AND FOR ALL PLANTING AREA DRAINAGE. 2. POSITIVE DRAINAGE AWAY FROM BUILDINGS SHALL BE MAINTAINED. NO LOW SPOTS WHICH HOLD

STANDING WATER WILL BE ACCEPTED. 3. CONTRACTOR SHALL ENSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION. . THE LANDSCAPE CONTRACTOR SHALL INCORPORATE 6 CY OF TOPSOIL AMENDMENT PER 1,000 SF OF PLANTING AREA. IN AREAS OF SHADE AND PART SHADE, AMENDMENT TO BE "RHODODENDRON MIX" BY SBI BUILDING MATERIALS OR EQUAL. IN SUN AREAS. TOPSOIL AMENDMENT TO BE "RAISED BED MIX BY SBI BUILDING MATERIALS OR EQUAL. ROTOTILL THOROUGHLY INTO THE TOP 6" OF SOIL. WHERE ROTO-TILLING IS NOT POSSIBLE, WORK AMENDMENTS INTO THE SOIL USING HAND TOOLS. 5. AFTER INSTALLATION OF IRRIGATION SYSTEM, ALL PLANTING AREAS ARE TO BE FINE GRADED TO

**GARDEN ORNAMENT** 1. ALL GARDEN ORNAMENT (URNS, FOUNTAIN SCULPTURE, ETC...) TO BE PURCHASED BY OWNER.

WITHIN 2" AND SLIGHTLY MOUNDED AWAY FROM EDGES OF CURBS, WALKS, HEADERS, ETC. AND RAKED

<u>CARPENTRY</u>

**GENERAL** 

i. CONTACT THE LANDSCAPE ARCHITECT FOR ANY QUESTIONS DURING BIDDING, CONSTRUCTION LAYOUT AND DIMENSIONING CLARIFICATION NOT SHOWN ON THE DRAWINGS. 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL TRADES AND CORRESPONDING OVERLAPPING WORK ON THE PROJECT.

3. SEE STRUCTURAL ENGINEER DRAWINGS FOR FRAMING, STRUCTURAL CONNECTIONS AND LAYOUT DETAILS. 4. CONTACT GOLDEN STATE LUMBER @ 415) 454-2532 FOR LUMBER MATERIALS AND TECHNICAL ADVICE.

WOOD POOL EQUIPMENT ENCLOSURE

1. ALL GATE LUMBER TO BE TO BE HAND SELECTED STK CEDAR. . GATE HINGES AND LATCHES TO BE PURCHASED SEPARATELY BY THE HOMEOWNER (NOT IN BID).

GATE FRAME TO BE SCREWED AND GLUED. ALL SCREWS TO BE STAINLESS STEEL 4. ALL HARDWARE AND VISIBLE CONNECTIONS TO BE GALVANIZED AND PAINTED 2 COATS FLAT BLACK

5. SEE L6.1, "DET. A" FOR ADDITIONAL INFO.

4. ALL LOW VOLTAGE CABLE TO BE INSTALLED A MINIMUM OF 6" BELOW GRADE.

**LIGHTING NOTES** 

FIXTURES.

1. INTERIOR SWITCHING AND CONTROLS ARE TO BE COORDINATED WITH THE HOMEOWNER AND GENERAL CONTRACTOR. ALL LIGHTING CONTROLS ARE ASSUMED TO BE EXISTING & NOT IN THE LANDSCAPE CONTRACTOR BID.

2. ALL LINE VOLTAGE TO TRANSFORMER LOCATIONS AND GFI LOCATIONS IS TO BE INSTALLED BY A LICENSED 3. FOR BID PURPOSES, LIGHTING MANUFACTURER TO BE HINKLEY. HOMEOWNER IS TO SELECT AND PURCHASE ALL

5. CABLE TO FOLLOW NATURAL BARRIERS, SUCH AS WALK EDGES AND SPRINKLER RUNS. 6. PLANS INDICATE NUMBER, TYPE OF FIXTURES AND SUGGESTED CIRCUITS ONLY. LOCATION SHOWN IS APPROXIMATE. FOR MAXIMUM EFFECT, FINAL ADJUSTMENTS TO BE MADE IN FIELD (@ NIGHT). 7. CONTRACTOR TO PROVIDE EXTRA LOW VOLTAGE WIRE FOR POTENTIAL FUTURE UPLIGHTING @ ELM TREE AND / OR JAPANESE MAPLE TREE.

8. ALL FIXTURES TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS. CONTACT FX LUMINAIRE LIGHTING REPRESENTATIVE FOR ALL TECHNICAL INFORMATION REGARDING TRANSFORMER CONNECTION, WIRE SIZING AND INSTALLATION REQUIREMENTS 9. NEWLY INSTALLED LUMINAIRES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SUCH THAT WATER

CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMPHOLDERS, OR OTHER ELECTRICAL PARTS. "ALL LUMINAIRES DESIGNATED ON THIS PLAN ARE SUITABLE FOR WET LOCATIONS. 10.OUTDOOR LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR

## **PLANTING NOTES**

TREE PLANTING

1. THE TREES SHALL BE SPOTTED AS PER PLAN AND THE LOCATIONS APPROVED PRIOR TO THE DIGGING OF THE HOLES. PLANT MATERIAL TO BE ADJUSTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. 2. ALL PLANTING PITS TO BE TESTED FOR PERCOLATION. PLANT HOLES THAT DO NOT COMPLETELY DRAIN ARE TO RECEIVE PERFORATED PVC DRAINPIPE SET VERTICALLY AND FILLED WITH GRAVEL 3. 24" BOX TREES TO BE STAKED WITH A MINIMUM OF (2) 3" DIAMETER LODGEPOLE TREE STAKES WITH RUBBER VINE TIES. 36" BOX TREES ARE TO BE STAKED WITH A MINIMUM OF (3) 3" DIAMETER LODGEPOLE STAKES WITH RUBBER VINE

4. ALL TREES TO RECEIVE AGRIFORM FERTILIZER TABLET PER MANUFACTURER RECOMMENDATIONS.
5. FRUIT TREES ARE TO BE SELECTED AND PURCHASED BY THE OWNER. CONTRACTOR TO PROVIDE A PLANTING ALLOWANCE.

SHRUB / PERENNIAL PLANTING

1. THE SHRUBS SHALL BE SPOTTED AS PER PLAN AND THE LOCATIONS APPROVED PRIOR TO THE DIGGING OF THE HOLES. PLANT MATERIAL TO BE ADJUSTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. 2. ALL PLANTING PITS TO BE TESTED FOR PERCOLATION. PLANT HOLES THAT DO NOT COMPLETELY DRAIN ARE TO

GROUNDCOVER PLANTING

1. HOLD GROUNDCOVERS BACK 6" FROM WALKS, HEADERS, ETC.

RECEIVE PERFORATED PVC DRAINPIPE SET VERTICALLY AND FILLED WITH GRAVEL.

VINE PLANTING

1. THE VINES SHALL BE SPOTTED AS PER PLAN AND THE LOCATIONS APPROVED PRIOR TO THE DIGGING OF THE HOLES. PLANT MATERIAL TO BE ADJUSTED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. 2. ALL PLANTING PITS TO BE TESTED FOR PERCOLATION. PLANT HOLES THAT DO NOT COMPLETELY DRAIN ARE TO RECEIVE PERFORATED PVC DRAINPIPE SET VERTICALLY AND FILLED WITH GRAVEL 3. VINES ARE TO BE STAKED AND TIED TO VERTICAL FENCE AND TRELLIS STRUCTURES FOLLOWING PLANTING **OPERATIONS** 

NEW LANDSCAPE AREAS ARE TO RECEIVE A 3" LAYER OF ORGANIC MULCH FOLLOWING PLANT INSTALLATION OPERATIONS. 2. A MINIMUM OF 8 INCHES OF NON-MECHANICALLY COMPACTED SOIL SHAL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS. 3. INCORPORATE COMPOST OR NATURAL FERTILIZER INTO THE SOIL TO A MINIMUM DEPTH OF 8 INCHES AT A MINIMUM RATE OF 6 CUBIC YARDS PER 1000 SQUARE FEET OR PER SPECIFIC AMENDMNET RECOMMENDATIONS FROM A SOILS

MAINTENANCE / GUARANTEE

1. THE CONTRACTOR SHALL MAINTAIN THE PROJECT FOR 90 DAYS FOLLOWING COMPLETION. THIS INCLUDES MOWING, FERTILIZING, WEEDING, PRUNING AND FINE TUNING THE IRRIGATION SYSTEM. 2. ALL PLANT MATERIAL TO BE GUARANTEED TO BE THRIVING AND HEALTHY DURING THE MAINTENANCE PERIOD. ANY UNHEALTHY PLANTS OR PLANTS THAT HAVE DIED ARE TO BE REPLACED AT NO COST TO THE OWNER. THE CONTRACTOR WILL NOT BE HELD ACCOUNTABLE FOR LOSS OF PLANT MATERIAL DUE TO VANDALISM OR LACK OF CARE BY OTHERS.

1. NO PLANTING WITHIN THE LINE OF SIGHT IS TO EXCEED 3'-0" MAX. HEIGHT.

<u>IRRIGATION NOTES</u>

NOTE ABOUT "LINE OF SIGHT"

. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR QUALITY CONTROL, CONSTRUCTION STANDARDS, AND FOR MAINTAINING COMPLIANCE WITH MMWD AND COUNTY OF MARIN CODES ON THIS PROJECT BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATING TO HIS WORK.

2. IRRIGATION INSTALLATION SHALL MEET ALL REQUIREMENTS OF MARIN MUNICIPAL WATER DISTRICT ORDINANCE 430. CONTACT MMWD FOR FURTHER INFORMATION.
3. A TOTAL OF 9 NEW VALVES ARE TO BE INSTALLED IN THE NEW LANDSCAPE AREA. LOCATE VALVES OUT OF CONSPICUOUS VIEW AWAY FROM TURF. PATIO AND WALKWAY EDGES. 4. ALL VALVES ARE TO BE INSTALLED BELOW GRADE IN APPROVED VALVE BOXES. A MAXIMUM OF THREE VALVES IS

TO BE INSTALLED IN EACH BOX. 5. THE IRRIGATION DRAWING IS DIAGRAMMATIC AND FOR DESIGN INTENT PURPOSES ONLY. HYDRO-ZONE AREAS ARE TO BE ADJUSTED AS NECESSARY IN THE FIELD TO SATISFY EXACT CONDITIONS AND REQUIREMENTS. 6. IRRIGATION MAINLINE AND SLEEVING IS DIAGRAMMATIC AND WILL NEED TO BE ADJUSTED IN THE FIELD. MAINLINE TO AVOID ROOT SYSTEMS OF EXISTING TREES. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES. PARALLEL PIPES MAY BE INSTALLED IN COMMON TRENCH. PIPES ARE NÓT TO BE INSTALLED DIRECTLY ABOVE ONE ANOTHER. PIPING IN-STRUCTURE INSTALLED BY PLUMBING CONTRACTOR.

7. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION AND MAKE ADJUSTMENTS TO THE IRRIGATION DESIGN IF NECESSARY. THE DESIGN IS BASED ON A WATER PRESSURE OF 25 PSI WITH 15 GPM MINIMUM AT THE POINT OF CONNECTION.

8. CONTRACTOR IS TO INSURE 100% COVERAGE OF ALL IRRIGATED LANDSCAPE AREAS. 9. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUBCONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC. CONTRACTOR TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO THE EXCAVATION OF TRENCHES. CONTRACTOR IS TO REPAIR ANY DAMAGE CAUSED BY HIS WORK AT NO ADDITIONAL COST TO THE OWNER. 10. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT

TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY 11. ELECTRICAL CONTRACTOR TO SUPPLY 120 VAC (2.5 AMP) SERVICE TO CONTROLLER LOCATION. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICÁL STUB-OUT TO CONTROLLER. IRRIGATION CONTROLWIRE SHALL BE #14, U.L. APPROVED FOR DIRECT BURIAL. COMMON WIRE SHALL BE #12 U.L. APPROVED AND SHALL BE WHITE IN COLOR. WIRING TO INDIVIDUAL REMOTE CONTROL VALVES SHALL BE COLOR OTHER THAN WHITE. WIRING THROUGH STRUCTURE INSTALLED BY PLUMBING CONTRACTOR. 13. IRRIGATION REMOTE CONTROL VALVES SHALL BE LOCATED AND INSTALLED BY LANDSCAPE CONTRACTOR. VALVE LOCATIONS SHOWN ARE DIAGRAMMATIC. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH

HEAD DRAINAGE WILL CAUSE EROSION AND EXCESS WATER, USE POP-UP SPRINKLER MODELS WITH INTEGRAL CHECK 14. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVERSPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF FIXED ARC (OR AN ADJUSTABLE ARC IF FIXED ARC DOES NOT MATCH THE ARC TO BE IRRIGATED) TO FIT THE SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. ALL MAIN LINES SHALL BE FLUSHED PRIOR TO THE INSTALLATION OF IRRIGATION HEADS. AT 30 DAYS AFTER INSTALLATION EACH SYSTEM SHALL BE FLUSHED TO ELIMINATE GLUE AND DIRT PARTICLES FROM THE LINES.

GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS. IN LOCATIONS WHERE LOW

15. WHEN VERTICAL OBSTRUCTIONS (STREET LIGHTS, TREES, FIRE HYDRANTS, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE HEADS SO AS TO PREVENT PROPER COVERAGE. THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER, THIRD OR HALF CIRCLE HEAD AT THE SIDES OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.

16. SWING JOINTS OR OTHER PIPE PROTECTION COMPONENTS ARE REQUIRED ON ABOVE-GROUND IRRIGATION PIPING 17. IN ADDITION TO THE SLEEVES AND CONDUITS SHOWN ON THE DRAWINGS. THE IRRIGATION CONTRACTOR SHALL

BE RESPONSIBLE FOR THE INSTALLATION OF SLEEVES AND CONDUITS OF SUFFICIENT SIZE UNDER ALL PAVED AREAS. 18. ALL EXCAVATIONS ARE TO BE FILLED WITH COMPACTED BACKFILL. CONTRACTOR TO REPAIR ALL SETTLED TRENCHES PROMPTLY, FOR A PERIOD OF 1 YEAR AFTER COMPLETION OF WORK. ADDITIONALLY, CONTRACTOR SHALL WARRANT THAT THE IRRIGATION SYSTEM WILL BE FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP FOR A PERIOD OF 1 YEAR AFTER FINAL ACCEPTANCE OF WORK. 19. IRRIGATION CONTRACTOR TO NOTIFY ALL LOCAL JURISDICTIONS FOR INSPECTION A

BACKFLOW PREVENTION DEVICE. 20. PRIOR TO TRENCHING, CALL UNDERGROUND SERVICE ALERT. (1-800) 227-2600 FOR N 21. THE CONTRACTOR SHÁLL PROVIDE A COMPLETE OPERATIONS MANÚAL AND AS-BUIL LOCATION OF THE IRRIGATION CONTROLLER, VALVES AND THEIR APPROPRIATE DESIGNAT 22. WHENEVER OVERHEAD IRRIGATION IS LOCATED DIRECTLY ADJACENT TO HARDSCAF WATER FLOWS INTO THE CURB AND GUTTER, ALL SPRAY HEADS SHALL BE SETBACK A MIN HARDSCAPE EDGES.



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DATE  $\Delta$  DESCRIPTION BY

PLANNING SUB. EO

PLAN. RE-SUB. EO 05.05.2021 1 MMWD SUB. EO 1.04.2021 BUILDING SUB. EO L DRAWINGS AND WRITTEN MATERIAL APPEARING PUBLISHED WORK OF IMPRINTS LANDSCAPE CHITECTURE AND MAY NOT BE DUPLICATED, USEI

CONSENT OF IMPRINTS LANDSCAPE ARCHITECTURE
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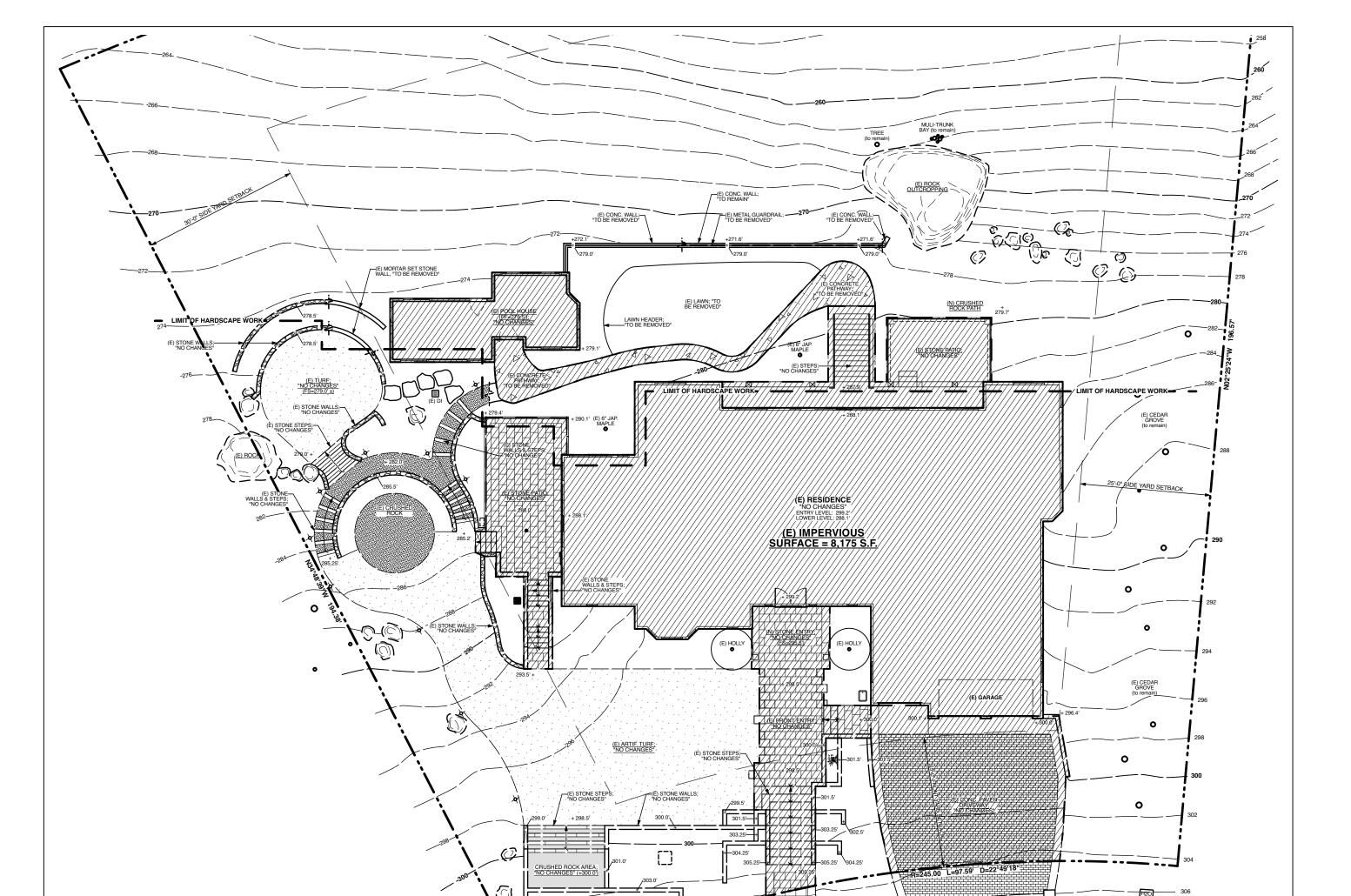
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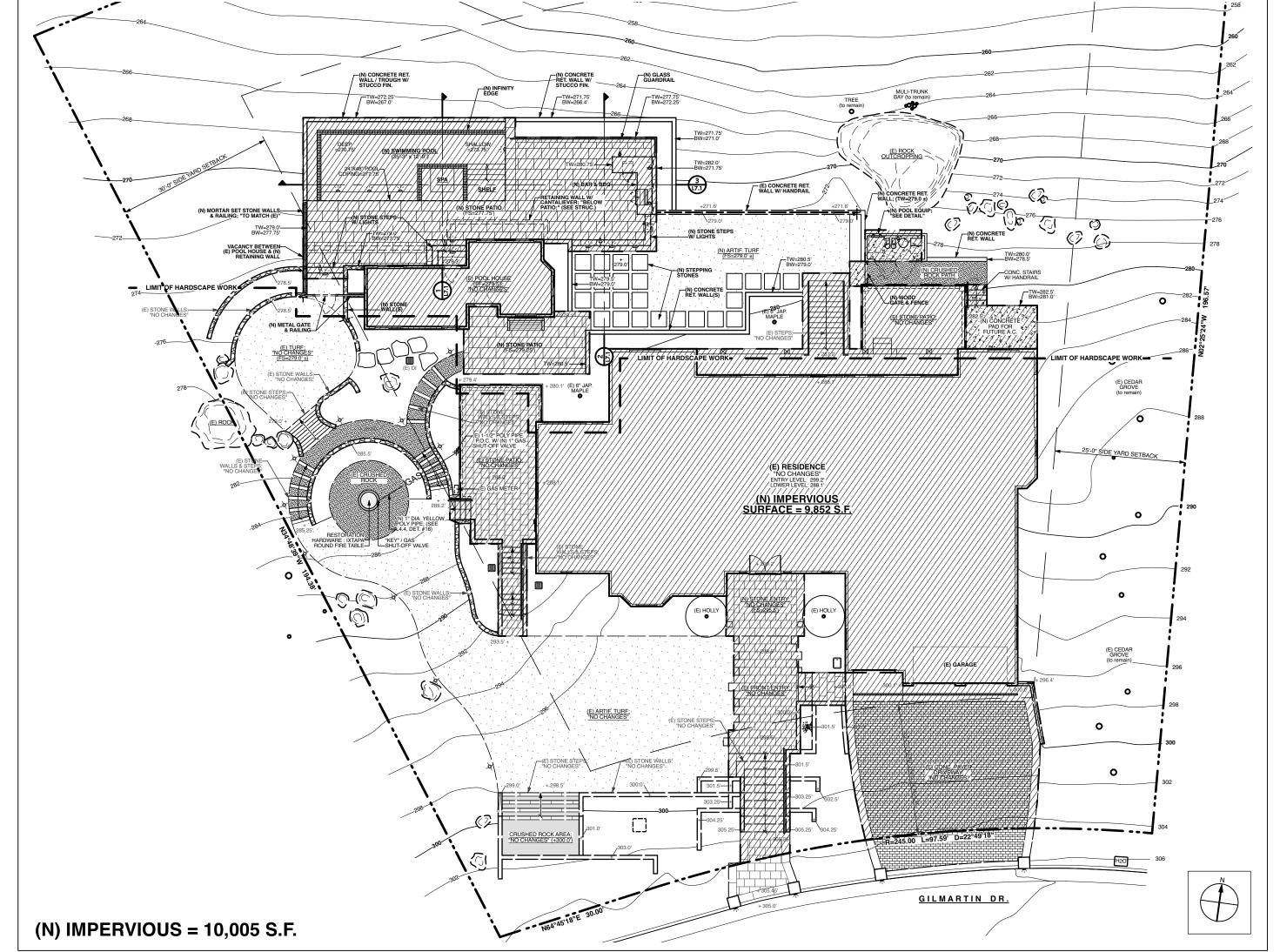
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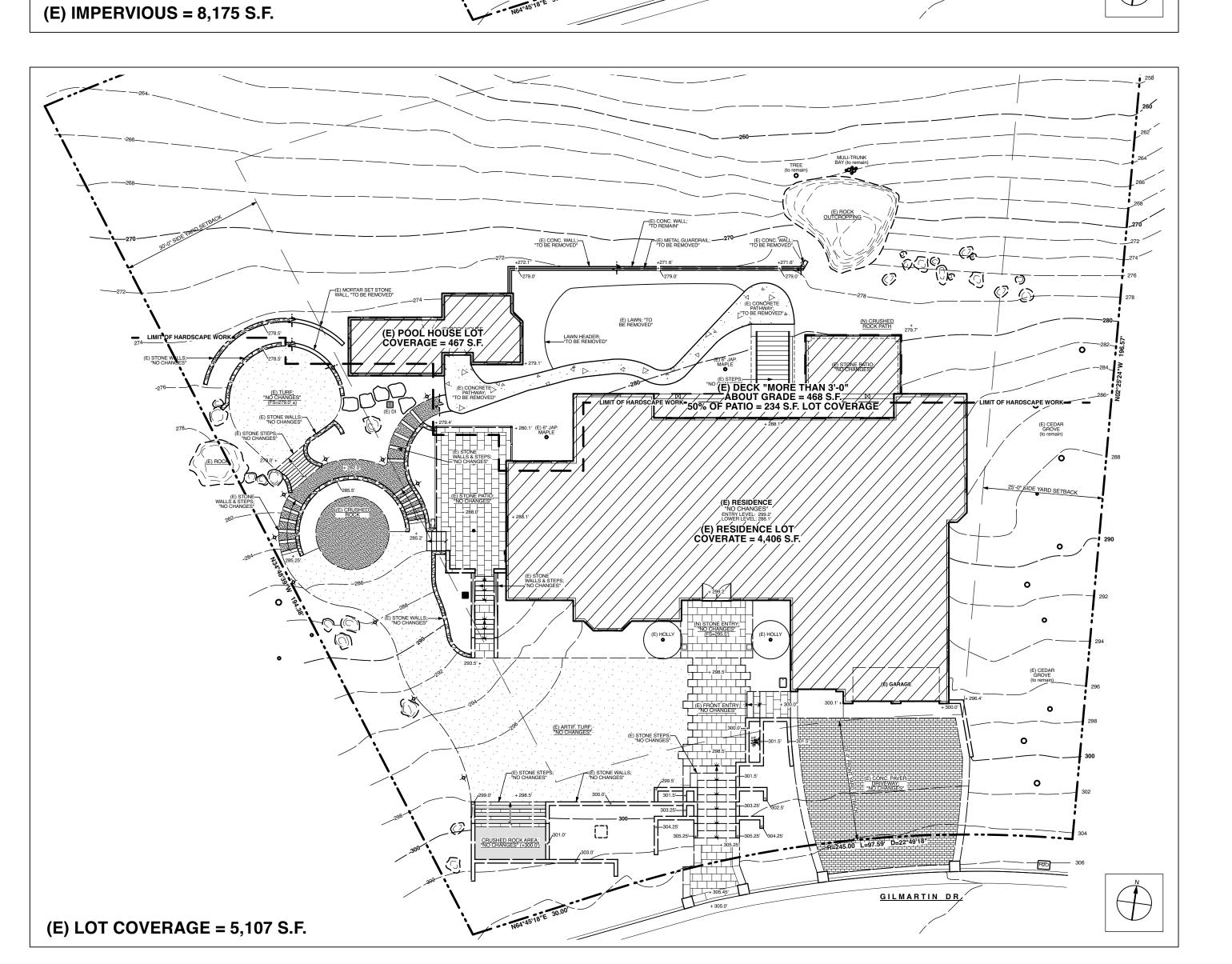
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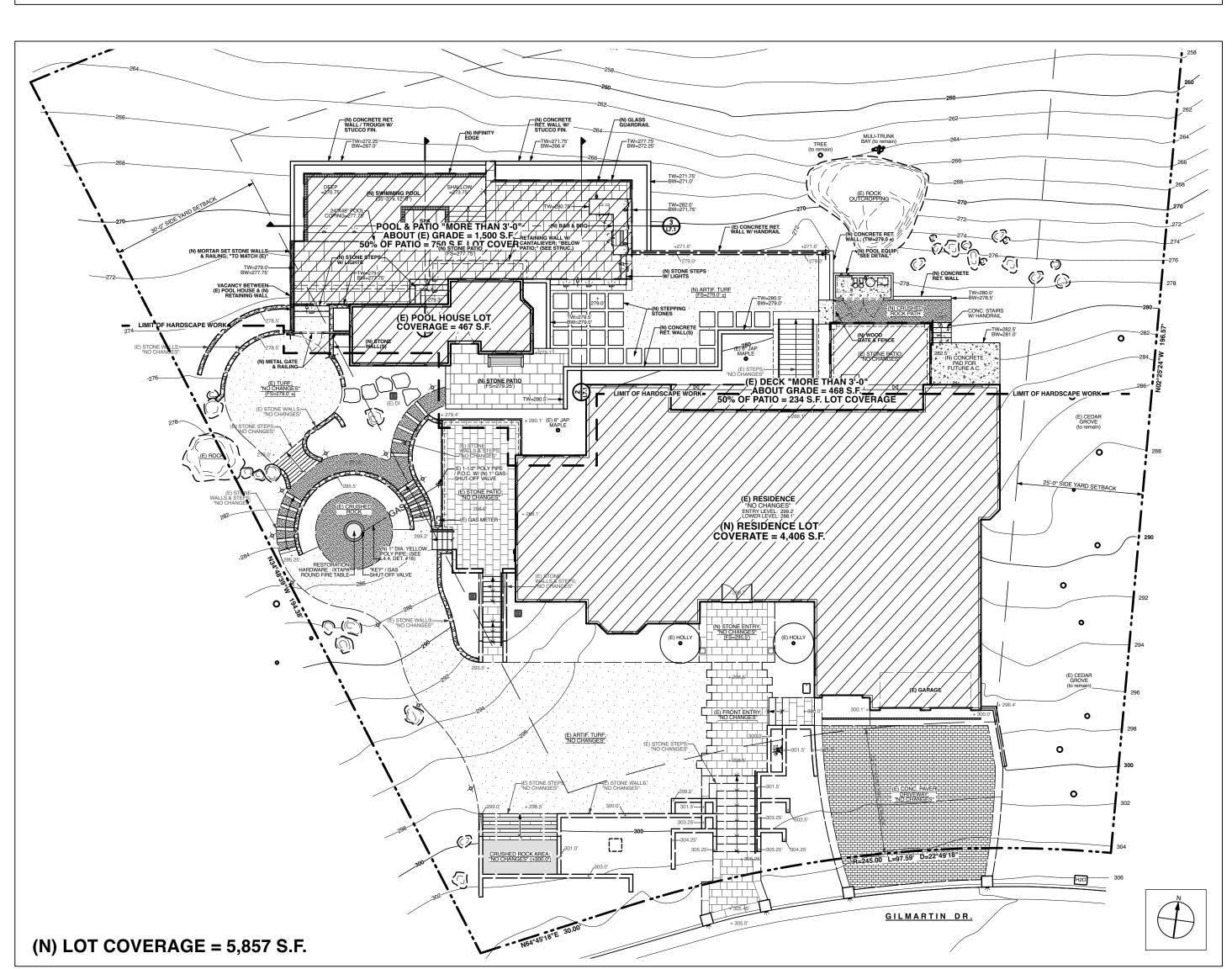
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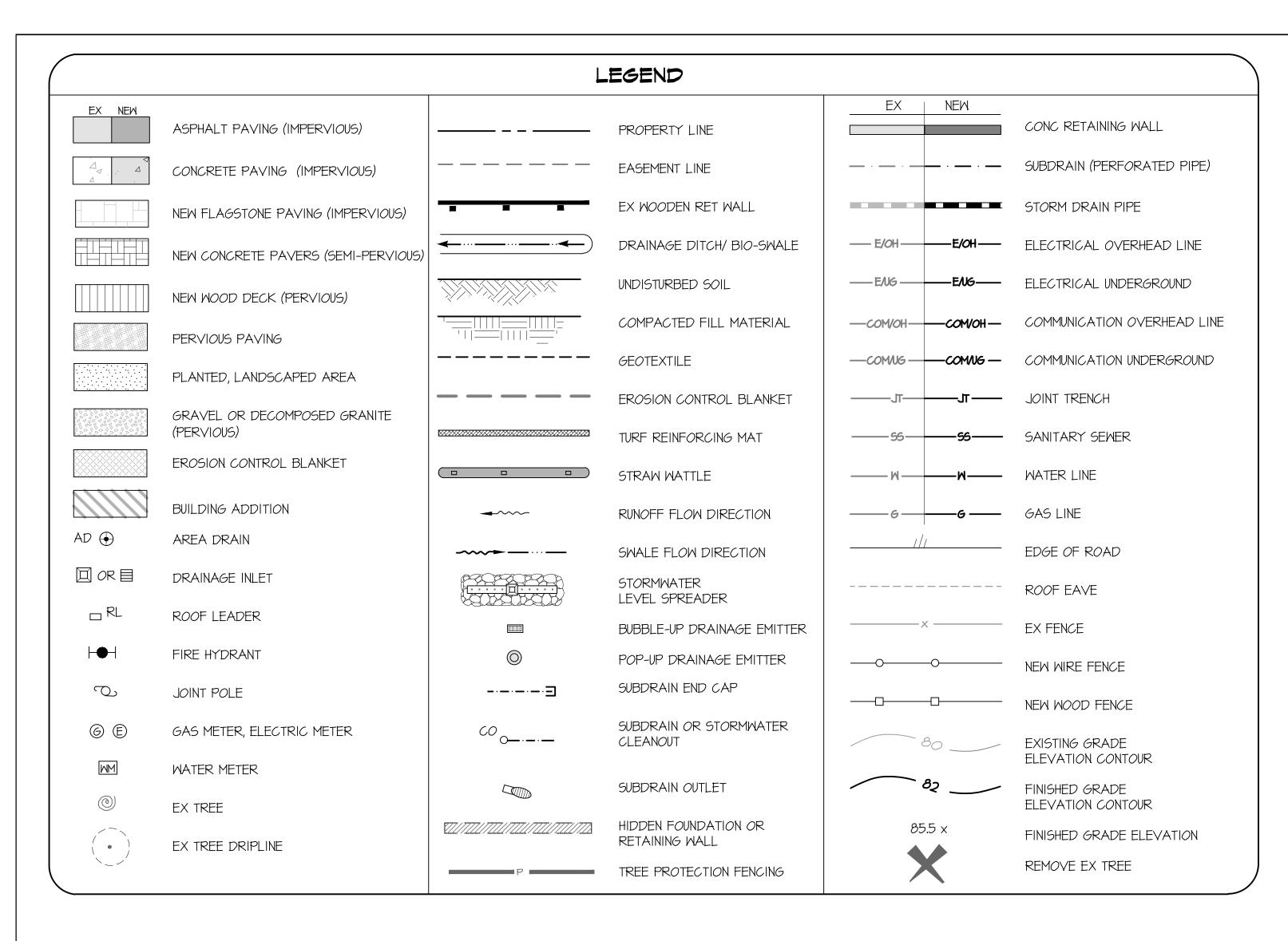
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## GENERAL NOTES:

- I. SITE SURVEY AND TOPOGRAPHIC BASE MAP IMPRINTS.
- 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

## EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

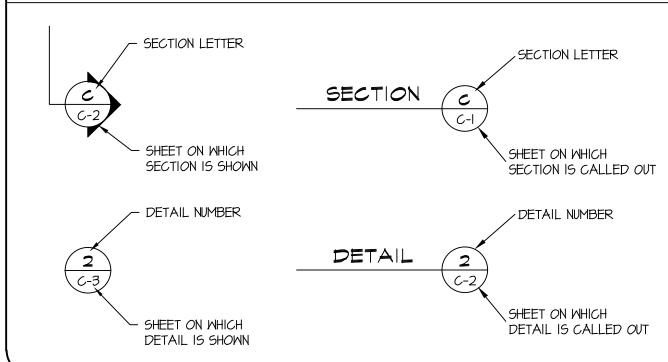
## DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

## RETAINING MALL AND FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION AND RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS, FOUNDATION ELEVATIONS OR THE SITE TOPOGRAPHY.

## DETAIL AND SECTION DESIGNATIONS



## **UTILITY CONNECTION NOTES:**

- I. THE PROPOSED ALIGNMENT FOR UTILITY SERVICE CONNECTIONS HAS NOT BEEN APPROVED BY SERVICE PROVIDERS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH UTILITY SERVICE PROVIDERS TO DETERMINE UTILITY ROUTES AND REQUIRED SERVICE UPGRADE DETAILS. REVIEW ALL PROPOSED UTILITY ROUTES AND UPGRADE DETAILS WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:

WATER: MARIN MUNICIPAL WATER DISTRICT

SEWER: TIBURON SANITARY DISTRICT

ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)

GAS: PACIFIC GAS AND ELECTRIC (PG&E)

TELEPHONE: AT&T

CABLE: COMCAST

- 3. INSTALL NEW WATER SERVICE PIPE BETWEEN THE EXISTING WATER METER AND THE HOUSE. SIZE THE WATER SERVICE PIPE FOR THE REQUIRED FIRE SPRINKLER FLOW RATE. REPLACE THE WATER METER IF IT HAS INADEQUATE CAPACITY FOR THE MAXIMUM FIRE SPRINKLER FLOW RATE.
- 4. CONDUCT A VIDEO INSPECTION OF THE EXISTING SEWER LATERAL. REPAIR OR REPLACE THE LATERAL IF THE INSPECTION RESULTS SHOW THAT THE PIPE IS NOT IN SATISFACTORY CONDITION OR IF THE LATERAL DOES NOT COMPLY WITH CURRENT ROSS VALLEY SANITARY DISTRICT NO. I STANDARDS.

## ESTIMATED FARTHWORK QUANTITIES

	QUANTITIES
EXCAVATION	10 CY
FILL	125 CY
IMPORT	115~ CY
MAX. EXCAVATION DEPTH	2.0 FT
MAX. FILL DEPTH	9.0 FT
DISTURBED AREA	0.05 AC

## EARTHWORK NOTES:

- I. QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL, ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- 2. LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- 3. SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER IS AND APRIL IS UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

## GREEN BUILDING STANDARDS

- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

### INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-I	COVER SHEET
C-2	GRADING AND DRAINAGE PLAN
C-3	DETAILS
C-4	SPECIFICATIONS
C-5	EROSION CONTROL PLAN
C-6	EROSION CONTROL AND STORMWATER POLLUTION PREVENTION NOTES

### ABBREVIATIONS

₩B	AGGREGATE BASE
40	ASPHALT CONCRETE
<b>\</b> D	AREA DRAIN
\DA	AMERICANS WITH DISABILITIES ACT
	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
	AM. SOCIETY OF TESTING MATERIALS
3M	BENCH MARK
3PD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
0	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COMM/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
OI .	DRAINAGE INLET
NΑ	DIAMETER
	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
ENG	ELECTRICAL UNDERGROUND
_	EXISTING GROUND
	ELEVATION
X	EXISTING
	FLOOR DRAIN
<del>-</del>	FINISHED FLOOR ELEVATION
<u>-</u>	FLOW LINE
G	FINISHED GRADE ELEVATION

FT FEET or FOOT NATURAL GAS GALV GALVANIZED GAS METER GALLONS PER MINUTE

HEIGHT OF EXPOSED WALL FACE HBHOSE BIB HDPE HIGH DENSITY POLYETHYLENE PIPE

HIGH POINT INV INVERT ELEVATION JOINT UTILITY POLE JOINT UTILITY TRENCH

LLFF LOWER LEVEL FINISHED FLOOR ELEV LPFF LOW POINT FINISHED FLOOR ELEV

MAX MAXIMUM MH MANHOLE MIN MINIMUM

MAIN LEVEL FINISHED FLOOR ELEV MMWD MARIN MUNICIPAL WATER DISTRICT OVERHEAD

PG&E PACIFIC GAS AND ELECTRIC POLYVINYL CHLORIDE PIPE RADIUS

ELEV AT MH COVER OR DI GRATE ROOF LEADER ROW RIGHT-OF-WAY

SLOPE SCHEDULE SIMILAR STORM DRAIN MANHOLE SANITARY SEWER SANITARY SEWER MANHOLE

STANDARD DIMENSION RATIO TOP OF CURB ELEVATION TMTOP OF WALL ELEVATION TYPICAL

UCS UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY ULFF UPPER LEVEL FINISHED FLOOR ELEV

VΒ VALVE BOX WATER WATER METER WATER VALVE

## STORMWATER PLAN SUMMARY

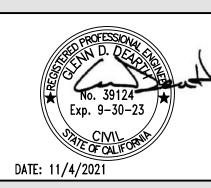
	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	8,139 SF	9,934 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	o SF
LANDSCAPE (PERVIOUS)	21,730 SF	25,233 SF
TOTAL LOT AREA	35,167 SF	35,167 SF

## STORMWATER NOTES:

- I. IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
- 2. NEW OR REPLACEMENT IMPERVIOUS AREA IS 2,171 SF.

LTD Engineering, Inc. 1050 Northgate Drive, Suite 450 San Rafael, CA 94903 Tel. 415.446.7402 Cell 415.717.8719 gdearth@LTDengineering.com

OWNER DAVID POSNER 139 GILMARTIN DRIVE TIBURON, CALIFORNIA 94920



ISSUED FOR PERMIT

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39-290-ARTIN | CALIF

APN 139 GIL TIBURO POSNEF REVISIONS

NO. DATE DESCRIPTION A | 11/4/21 | 155UED FOR BUILDING PERMIT

G. DEARTH DESIGNED BY: DRAWN BY: E. HAYDEN APPROVED BY: SCALE: |" = ?'-?"

PROJECT NO 676.001 11/4/2021

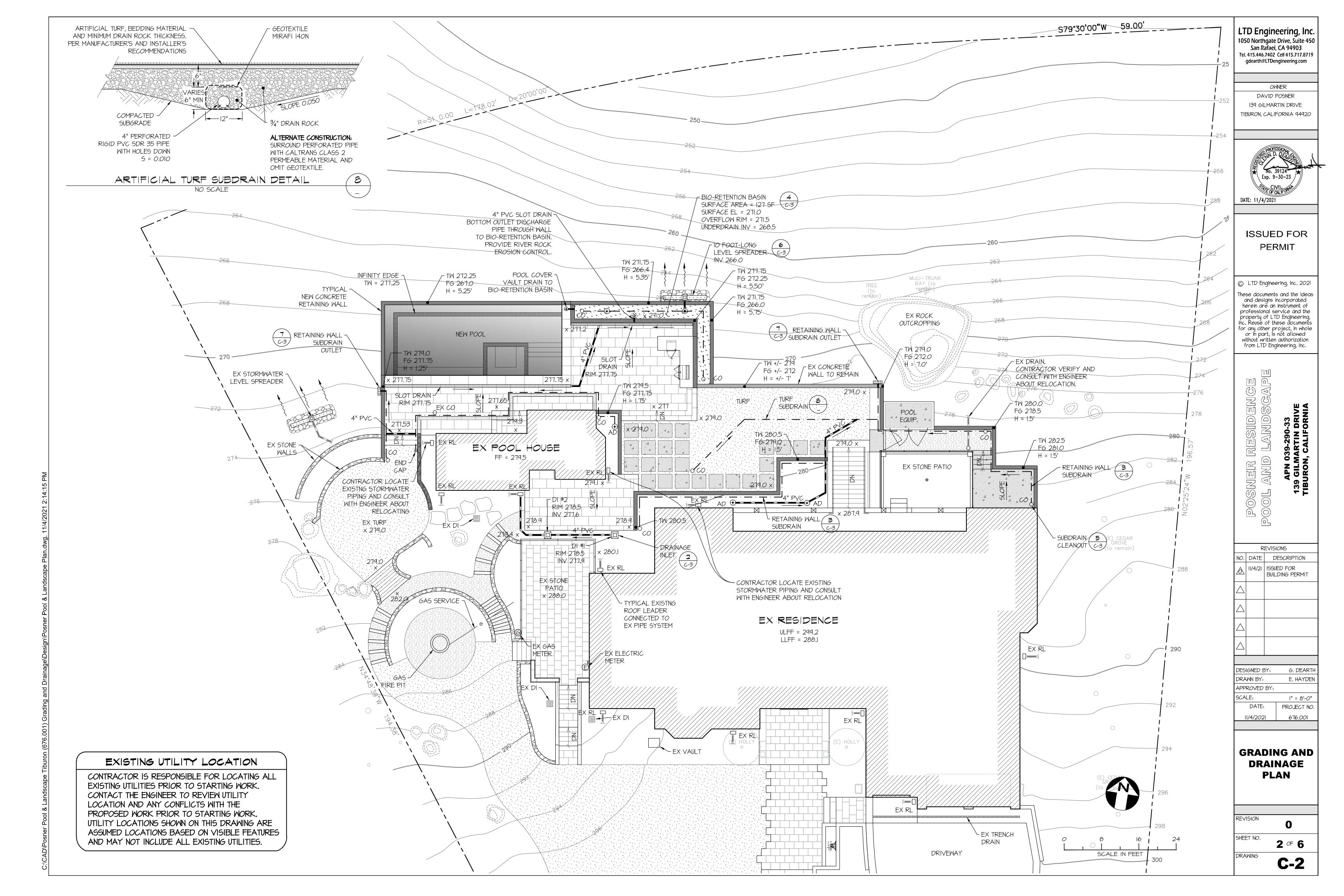
> **COVER** SHEET

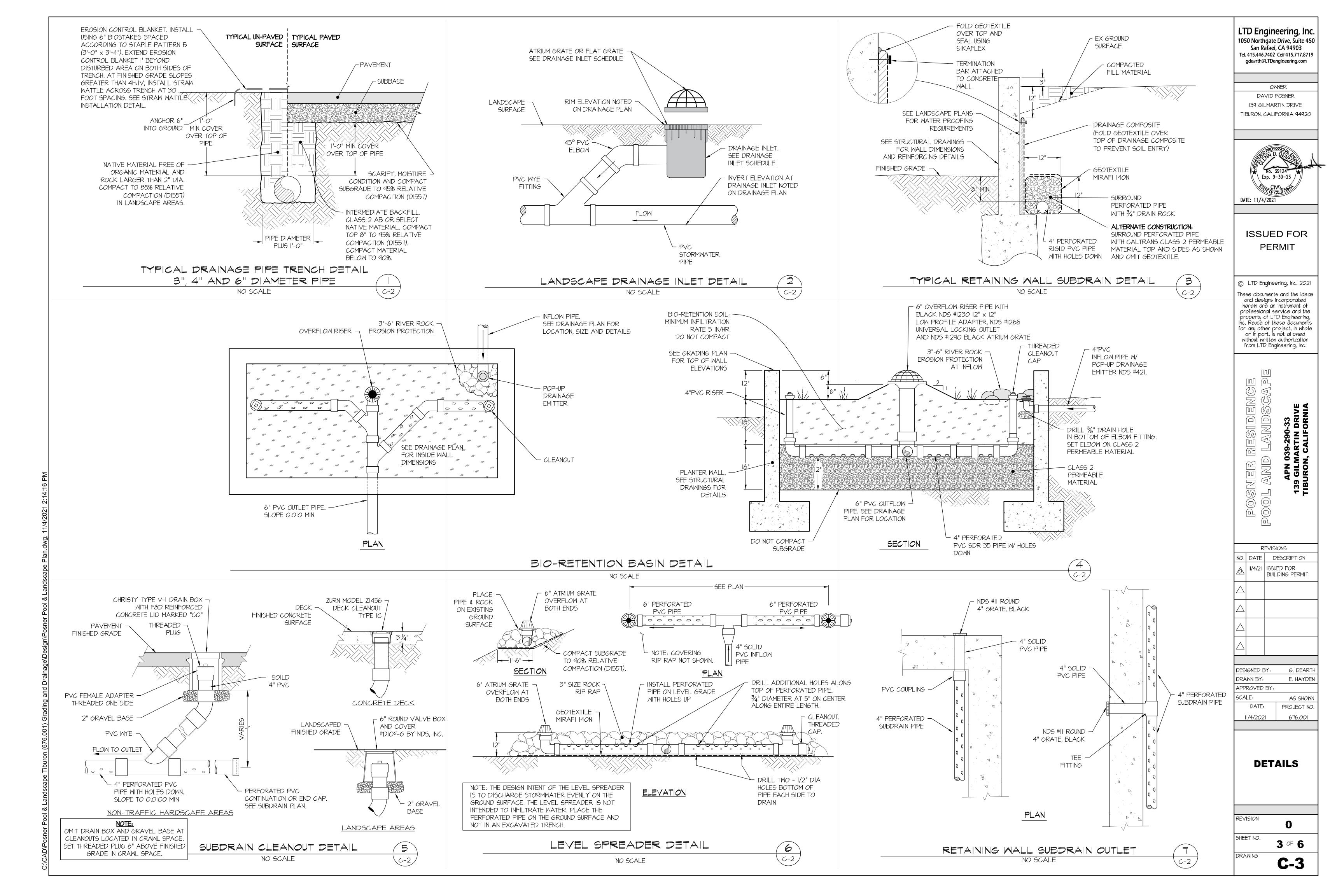
REVISION 0

DRAWING

1 of 6

**C-1** 





## MATERIALS

REFER TO THE CONSTRUCTION CODES AND STANDARDS FOR ADDITIONAL MATERIAL SPECIFICATIONS AND CONSTRUCTION REQUIREMENTS

- . Agaregate Base: Class 2 aggregate base  $\frac{3}{4}$  inch maximum size, furnished, placed and compacted in accordance with Caltrans Standard Specification Section 26.
- 2. <u>Bio-Retention Basin Soil</u>: Thoroughly mixed combination of 65% sand and 35% compost by volume. Use sand with a gradation of 90% - 100% passing a No. 4 sieve and not more than 5% passing a No. 200 sieve. Use mature compost from a supplier certified by the California Compost Quality Council. Compost must have a moisture content of 40% - 50%, an organic matter content of 50% - 60% (dry weight) and a carbon/nitrogen ratio of less than 20:1. Minimum infiltration rate for the soil mixture: 5 inches per hour.
- 3. <u>Cleanout Box (landscape areas):</u> NDS #D109-G, round 6-inch valve box and cover manufactured by NDS, Inc., Lindsay, California.
- 4. <u>Cleanout Box (non-traffic hardscape areas):</u> Deck Cleanout, Zurn Model Z1456 nickel bronze body with scoriated deck plug and O-ring seal.
- 5. <u>Drain Rock:</u> Hard, durable, clean, well graded, crushed stone, free from organic material, clay balls or other deleterious material. Gradation: 100 percent passing  $\frac{3}{4}$  inch sieve and O percent passing 1/4 inch sieve. RECYCLED MATERIAL IS NOT ACCEPTABLE.
- 6. <u>Drainage Composite:</u> Prefabricated drainage composite. CCM Miradrain 6000 manufactured by Carlisle Coatings & Waterproofing Inc. or Mirafi Miradrain GIOON manufactured by Mirafi Inc. Ten Cate Nicolon.
- . <u>Drainage Inlets:</u> Catch basin NDS#900 (2 pipe openings) or NDS#900-4 (4 pipe openings) square 9-inch catch basin. Use catch basin risers NDS#916 as required to comply with rim and invert elevations specified on the drawings. Plug unused openings using NDS#1206 universal adapter plug. Connect pipes using catch basin universal outlet NDS#1243 locking 3- and 4-inch pipe adapter or NDS#1266 locking 6-inch pipe adapter. Grate NDS#981 (black) 9-inch square Dome Atrium Grate. NDS#980 (black) 9-inch square flat grate. All components manufactured by NDS, Inc., Lindsay, California. See drainage inlet schedule for location, model, dimensions and types.
- 3. <u>Drainage Inlets (Area Drains):</u> NDS#II round 4-inch plastic flat grate (black) attached to Schedule 40 PVC pipe using mye fitting or smeep elbom. NDS#78 round 4-inch plastic atrium grate (black) attached to Schedule 40 PVC pipe using wye fitting or sweep elbow. Components manufactured by NDS, Inc., Lindsay, California. See drainage inlet schedule for location, model, dimensions and types.
- 1. <u>Erosion Control Blanket:</u> Long-term coconut fiber erosion control blanket with organic jute fiber netting top and bottom. CI25BN manufactured by North American Green. Install using riqid 6 inch-long biodegradable Bio STAKES manufactured by North American Green. Use stapling pattern B  $(3'-0" \times 3'-4" \text{ spacing})$ .
- 10. Fill Material: Acceptable fill material consists of: silty sands and sand-silt mixtures (SM); clayey sands and sand-clay mixtures (SC); inorganic silts and clayey silts with low plasticity, sandy silts, gravely silts (ML); inorganic clays with low to medium plasticity, gravely clays, sandy clays, lean clays (CL). All fill material must have a liquid limit of less than 40 percent and a plasticity index of less than 12. Fill material must not contain rock larger than 3 inches, vegetation or other organic material. Place and compact fill material in accordance with requirements specified in the Project Geotechnical Report and as shown on the drawings.
- Geotextile: Polypropylene nonwoven geotextile. Mirafi 140N
- . <u>Permeable Material:</u> Virqin, washed, Caltrans Class 2 permeable material furnished and installed in accordance the Caltrans Standard Specification Section 68. RECYCLED MATERIAL IS NOT ACCEPTABLE.
- 3. <u>Stormwater Drain Pipe (PVC):</u> Schedule 40 or SDR 35 solid PVC pipe. CORRUGATED OR FLEXIBLE HDPE PIPE IS NOT PERMITTED. Install 3 inch, 4 inch and 6 inch pipe using solvent cemented joints in accordance with manufacturer's recommendations and ASTM D2321. Install 8 inch and larger pipe using rubber gasket joints. Provide minimum one foot soil cover between bottom of sub-base material and crown of pipe in all traffic areas.
- 4. <u>Straw Wattle</u>: Rice straw wattle, 8.5-inch diameter, with biodegradable netting, manufactured by Earth Saver (earth-savers.com). Install using I"xI"xI8" wood stakes at 4 ft spacing.
- 5. <u>Subsurface Drain Pipe</u>: Perforated Schedule 40 or SDR 35 solid 4 inch diameter PVC pipe. CORRUGATED OR FLEXIBLE HDPE PIPE IS NOT PERMITTED. Install with holes facing down. Use solvent cemented joints in accordance with manufacturer's recommendations and ASTM D2321. Provide minimum one foot soil cover between bottom of sub-base material and crown of pipe in all traffic areas.

## CONSTRUCTION CODES & STANDARDS

PROVIDE MATERIALS AND COMPLETE ALL CONSTRUCTION WORK IN ACCORDANCE WITH THE FOLLOWING CONSTRUCTION CODES & STANDARDS.

- I. Town of Tiburon Municipal Code, most recent edition.
- 2. Public Morks: Uniform Construction Standards, All Cities and County of Marin, Adopted July
- 3. Special Materials: Caltrans Standard Specifications 2018.
- 4. 2019 California Building Code, California Code of Regulations, Title 24, Part 2, Volume 2 of 2, California Building Standards Commission, including all subsequent Errata and Supplements: All applicable code sections including Chapter 18 Soils and Foundations, Chapter 33 Safequards During Construction and Appendix J Grading.
- 5. 2019 California Plumbing Code, California Code of Regulations, Title 24, Part 5, California Building Standards Commission, including all subsequent Errata and Supplements: All applicable code sections including Chapter II Storm Drainage.

## PROJECT PERMIT REQUIREMENTS

PROVIDE MATERIALS AND COMPLETE ALL CONSTRUCTION WORK IN ACCORDANCE WITH THE FOLLOWING PROJECT PERMIT REQUIREMENTS.

- . Town of Tiburon Grading and Drainage Permit.
- . CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS BEFORE STARTING CONSTRUCTION.

## GENERAL NOTES

I. Civil Engineer contact information:

Glenn Dearth, PE LTD Engineering, Inc. 1050 Northqate Drive, Suite 450 San Rafael, CA 94903 Tel: (415) 446-7402 Cell: (415) 717-8719 qdearth@LTDenqineerinq.com

- 2. The Construction Contractor is solely and completely responsible for job site conditions during construction of the project, including safety of all persons and property. This requirement applies continuously and is not limited to normal working hours. The Construction Contractor shall indemnify and hold harmless the Owner, the Engineer and the Engineer's officers, directors, partners, employees, and consultants from and against costs, losses, and damages (including but not limited to reasonable fees and charges of engineers, architects, attorneys, and other professionals, and reasonable court or arbitration or other dispute resolution costs) caused by the negligent acts or omissions of the Construction Contractor or Construction Contractor's officers, directors, partners, employees, consultants and subcontractors.
- 3. Verify all dimensions, elevations, materials and configuration of existing conditions at the project site. Contact the Engineer if the existing site conditions are significantly different from those depicted on the drawings and request clarification or modification of the work.
- 4. Should the Construction Contractor or Subcontractor determine that the work to be completed is not sufficiently detailed or explained on these drawings or in the specifications, contact the Engineer for further explanation and clarification.
- 5. Any deviation from the approved construction drawings and specifications requires prior approval from the Engineer, Owner and the local permitting authority.
- 6. Control dust by sweeping, watering or other appropriate measures. Prevent dust from accumulating at the construction site or from being blown off the construction site. Water active construction areas as required to control dust. Sweep roads daily if soil material is carried onto roads. Do not allow dust to become a nuisance on-site or off-site.
- 7. Protect all existing trees not noted for removal at all times during the construction work. Install 4 foot-high orange plastic netting supported by steel fence posts around the drip line of all trees to create a tree protection zone. Maintain and repair the fencing throughout the construction period as needed. Do not excavate, place fill material, trench, tunnel, place paving materials, park equipment or store construction materials within the tree protection zone. Remove and dispose of fencing material and posts after completion of the construction work.
- 8. The Contractor is responsible for providing surveys and measurements necessary to complete the work in accordance with the lines, grades, elevations and location shown on the drawinas.
- 9. Protect all existing survey control monuments, lot corner markers and benchmarks. Any permanent survey control monument, lot corner marker or benchmark damaged or destroyed during the work shall be replaced by a licensed surveyor at the sole expense of the Contractor.
- 10. The Contractor is responsible for repairing any damage or deterioration to public improvements resulting from construction activities in accordance with Town of Tiburon Municipal Code. This requirement applies to pavement, curb, gutter, sidewalk, drainage facilities and landscaping. Repair work may include replacement, patching, sealing or overlaying affected areas to return roads and sidewalks to the conditions that existed before construction.
- II. Remove and legally dispose of all excess construction materials off-site.
- 12. Allowable working hours are 8:00 AM to 5:00 PM Monday through Friday. No work is allowed on Saturday or Sunday or the following holidays: New Year's Day, President's Day, Memorial Day, Independence Day, Labor Day, Thanksqiving Day, and Christmas Day. Loud noise-generating equipment (e.g. backhoes, generators, jackhammers, etc.) may only be operated, maintained or serviced at the construction site between 8:00 AM and 5:00 PM, Monday through Friday.
- 13. Store all construction materials and equipment, and park all construction vehicles on-site so that safe passage for vehicles, pedestrians and bicycle traffic is maintained at all times. Maintain emergency vehicle access and access to adjacent properties at all times throughout construction.
- 14. Provide and maintain all traffic control facilities, signs, lights, safety barricades and flagmen in accordance with the California Manual of Uniform Traffic Control Devices.
- 15. Provide temporary sanitary facilities as required by local regulations and health codes. Provide a self-contained, single-occupant chemical toilet unit, vented, fully enclosed with a glass-fiber-reinforced polyester shell or similar nonabsorbent material. Locate toilet unit to contain spills and to minimize potential impact on stormwater quality. Provide self contained hand wash facilities supplied with potable water. Provide weekly servicing and maintenance by a licensed vendor.
- 16. Locate construction materials, equipment, vehicles, and debris boxes to minimize obstruction of roads and gutters. Maintain debris boxes in a clean and safe condition and do not let them become a nuisance to the neighborhood. Empty debris boxes on a regular basis. Cover material stock piles and debris boxes when not being accessed or filled to prevent material from blowing around the neighborhood. Construction materials, equipment, vehicles, and debris boxes cannot be placed off-site without an encroachment permit.
- 17. The construction site is located in a wildland-urban interface area. All construction equipment used on the site must have an approved spark arrestor. Cut grass and remove fuel around the construction site and where vehicles and equipment are parked. Avoid use of mechanical equipment during hot, dry, windy weather. Provide a water supply for fire suppression. Smoking is prohibited on the construction site. Maintain working ABC fire extinguishers on all vehicles.

## DRAINAGE NOTES

1. Provide all temporary drainage piping and drainage swales necessary to collect and safely discharge stormwater runoff during construction. Create dry working conditions and maintain continuously until structures have been constructed, grading has been completed and fill materials have been placed, or until dewatering is no longer required. Maintain temporary drainage operations to ensure erosion is controlled, stability of excavations and constructed slopes is maintained, and flooding of excavation and damage to structures is prevented. Remove temporary drainage system from project site after completion of the work.

- 2. Contact the Engineer and request review of all subsurface drainage piping and stormwater drainage piping at least 2 days before placing backfill material in the pipe trench.
- 3. FAILURE BY THE CONSTRUCTION CONTRACTOR TO REQUEST ENGINEER REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING BEFORE PLACING BACKFILL MATERIAL IN THE PIPE TRENCH WILL RESULT IN ADDITIONAL COSTS AND DELAYS IN PREPARING THE REVIEW LETTER REQUIRED AT COMPLETION OF THE WORK. THE ENGINEER IS NOT RESPONSIBLE FOR THE OPERATION OR PERFORMANCE OF ANY DRAINAGE SYSTEM CONSTRUCTED WITHOUT REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING BEFORE PLACING BACKFILL MATERIAL IN THE PIPE
- 4. Install piped surface water drainage systems and roof drainage systems separate from foundation and retaining wall subsurface drainage systems. Extend the separate drainage system pipes to the point of discharge shown on the drawings.
- 5. Install all surface water drainage piping at a minimum slope as follows, unless otherwise noted on the drawings:

4 inch diameter -- minimum slope = 0.0200 6 inch diameter -- minimum slope = 0.0100

- 6. Provide minimum one foot soil cover between finished grade and crown of pipe in all landscaped areas.
- 7. Provide minimum one foot soil cover between bottom of sub-base material and crown of pipe in all traffic areas, or provide concrete encasement as shown on the drawings.
- 8. Install all perforated subsurface drainage piping at a minimum slope = 0.0100. Install with holes facing down.
- 9. All grades shown are finished surface grades unless otherwise noted.
- 10. Grade all paved surfaces, yard areas and landscaped areas to slope toward a drainage inlet at a minimum slope of 2 percent.
- ll. Grade areas around all structures to slope away from the structure at a minimum slope of 5 percent for a minimum distance of 10 feet unless otherwise shown on the drawings or approved by the Engineer. Impervious surfaces within 10 feet of the structure shall be sloped at a minimum slope of 2 percent away from the structure.
- 12. Connect roof leaders to the storm drain pipe system as shown on the drawings. Contact the Engineer if the location of the underground drainage system or the roof leader connections shown on the drawings conflicts with building foundations, grade beams or any other project feature.
- 13. Provide clean-outs on storm drain and subsurface drainage systems at the locations shown on the drawings and as required by the California Plumbing Code section 1101.12. Extend cleanouts to the finished ground surface. Use mye fittings with a threaded cleanout adaptor and threaded cleanout plug at each cleanout location.
- 14. Provide means of access to stormwater piping at the base of all roof leaders as required by California Plumbing Code section IIOI.12.1. Rain leaders and conductors connected to a building storm sewer must have a cleanout installed at the base of the outside leader or outside conductor before it connects to the horizontal drain.
- 15. TEE FITTINGS, 90 DEGREE ELBOW (ELL) FITTINGS AND STREET ELL FITTINGS ARE NOT ALLOWED IN PIPED SURFACE DRAINAGE SYSTEMS, SUBSURFACE DRAINAGE SYSTEMS OR ROOF LEADER DRAINAGE CONNECTIONS. USE 90 DEGREE SWEEP ELBOWS, 90 DEGREE LONG SWEEP ELBOWS, WYE FITTINGS, OR MULTIPLE 45 DEGREE ELBOWS WITH A MINIMUM 2-INCH PIPED SEPARATION BETWEEN FITTINGS.
- l6. Install waterproofing on all buried exterior building walls and retaining walls in accordance with the Architectural and Landscape Drawings and Specifications.
- 17. Stormwater drainage systems require inspection, cleaning and maintenance. Owner is responsible for inspecting drainage inlets, pipes and ditches before the start of every rainy season and after every major storm. Remove sediment, gravel, trash, leaves, debris and any other material affecting proper operation of the drainage system. Repair any damage to the drainage system.
- 18. Subsurface drainage systems require periodic inspection. Owner is responsible for inspecting subsurface drainage systems before the start of every rainy season. If blockages occur that hinder free draining conditions, clean the perforated pipe system using the cleanouts for access to the drainage system.

## SWIMMING POOL AND SPA DRAINAGE NOTES

- I. DO NOT CONNECT THE SWIMMING POOL OR SPA DRAIN TO THE PIPED STORMWATER DRAINAGE SYSTEM. Swimming pool and spa water discharge into a watercourse or a stormwater drainage system is prohibited under Marin Municipal Code (MCC) 23.18.094, Urban Runoff Pollution Prevention.
- 2. Connect the swimming pool and spa drain to the sanitary sewer system or discharge swimming pool and spa water to landscape areas.
- 3. Saltwater swimming pools and spas cannot be connected to the sanitary sewer system. Saltwater swimming pools and spas must discharge to landscape areas.
- 4. Swimming pool and spa drains connected to the sanitary sewer system must comply with Tiburon Sanitary District standards. Discharge to the sanitary sewer system requires a permit, inspection and compliance with District Standard Specifications and Drawings. The discharge pipe cannot be larger than 2 inches. The hydraulic head on the discharge pipe cannot exceed 20 feet and the discharge flow rate cannot exceed 100 apm. Equipment must be installed to prevent sewage backflow.
- 5. Swimming pool and spa water (other than salt water) discharged to landscape must be dechlorinated/debrominated and the pH adjusted to between 6.5 and 8.5. The land area must be sufficient to prevent erosion and runoff into a ditch, creek or other stormwater conveyance system.
- 6. Refer to the Marin County Stormwater Pollution Prevention Program's website, www.mcstoppp.org, for swimming pool discharge requirements under the heading @Resources for: General Public, Swimming Pools & Spas."

## EXCAVATION AND GRADING NOTES

l. The location of existing underground utilities or improvements has not been verified by the Engineer and no quarantee is made as to the accuracy or completeness of information shown on the drawings. The Construction Contractor must notify utility companies at least two

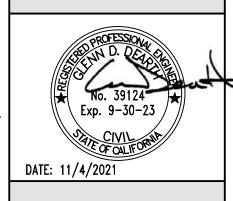
working days before excavation and request field location of all underground utilities. Call Underground Service Alert (USA) at 811 or at (800) 227-2600. Any utilities damaged during construction shall be completely restored to the satisfaction of the local utility engineer, at the sole expense of the Contractor. Any property damage or damage to constructed facilities shall be repaired to the satisfaction of the Engineer and Owner at the sole expense of the Contractor.

2. Obtain a Grading Permit from the City of Tiburon prior to initiating any on-site grading work.

- 3. Obtain a Trench Excavation Permit from the California Department of Industrial Relations, Division of Occupational Safety & Health prior to initiating any excavation of trenches greater than 5 feet deep.
- 4. The Contractor must review the project geotechnical report before initiating any on-site excavation and grading work. Complete all construction work in accordance with the qeotechnical report requirements, inspection test results and directives provided by the Project Geotechnical Engineer.
- 5. RETAINING WALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER TO RESOLVE ANY CONFLICTS BETWEEN RETAINING WALL ELEVATIONS, FOUNDATION ELEVATIONS OR SITE TOPOGRAPHY
- 6. Contact the Engineer if the field location of existing underground utilities or improvements conflicts with any required work shown on the drawings. Request design clarification or design modification to resolve conflicts.
- 7. The construction site has not been surveyed for archeological or historic materials. If archeological or historic materials are uncovered during grading, trenching or other excavation, stop all construction work within 100 feet of the archeological or historic materials. Notify the Town of Tiburon Planning Department, the Engineer and the Owner. Do not restart construction until a professional archaeologist certified by the Society of California Archaeology (SCA) and approved by the County has evaluated the significance of the materials uncovered and determined appropriate mitigation measures in compliance with County, State and Federal law.
- 8. The construction site has not been surveyed for hazardous environmental materials or conditions, i.e. the presence at the site of asbestos, PCBs, petroleum, hazardous waste, or radioactive materials in such quantities or circumstances that may present a substantial danger to persons or property. The Engineer makes no quarantee that the construction site does not contain hazardous materials or conditions. If potentially hazardous materials or conditions are uncovered during grading, trenching or other excavation, stop all work, move workers to a safe location and immediately notify the local fire department, the Engineer and the Owner.
- 9. Do not deposit excavated material, debris, rock, rubble, trash, strippings, brush or other deleterious material in any drainage channel or stream course. Remove all excess materials (soil and rock) and all unsuitable material (soil, rock, stumps and vegetation) and legally dispose of materials at an off-site disposal facility.
- 10. Keep drainage channels and drainage inlets free of obstructions and maintain clear flow conditions to convey stormwater runoff.
- II. Do not stockpile excavated material in the public right-of-way. Maintain streets, sidewalks, driveways and all other public rights-of-way in a clean, safe and useable condition. Regularly remove any soil, rock or construction debris spilled onto streets, sidewalks or driveways during construction and thoroughly clean streets, sidewalks and driveways at the completion of the work.
- 12. Install and maintain shoring, bracing and sheeting as required to prevent earth sliding or settlement at all excavations. Where trench excavation or structural excavation is five feet deep or greater, install and maintain shoring, bracing or sheeting for the protection of workers conforming to the applicable construction safety orders of the Division of Safety of the State of California and the Occupational Health and Safety Administration (OSHA).
- 13. Excavate and backfill all drainage pipe trenches on private property in accordance with details shown on the drawings.
- 14. Maximum excavated slope: 2H:IV, or as approved by the project Geotechnical Engineer.
- 15. Strip vegetation and paving material from the excavation or fill area before initiating earthwork. Legally dispose of vegetation off-site or as directed by the Engineer. Legally dispose of paving material off-site.
- 16. Scarify, moisture condition and compact the subgrade to the percentage relative compaction (ASTM D 1557) specified on the drawings and in the geotechnical report before placing and compacting fill material.
- 17. Compact all fill material to the percentage relative compaction (ASTM D 1557) specified on the drawings and in the geotechnical report. Place fill material in maximum 8 inch thick lifts, moisture condition to 2 percent above optimum moisture content and compact using mechanical compaction equipment.
- 18. Remove all excess excavated material from the construction site and legally dispose of i

| LTD Engineering, Inc. 1050 Northgate Drive, Suite 450 San Rafael, CA 94903 Tel. 415.446.7402 Cell 415.717.8719 gdearth@LTD engineering.com

OWNER DAVID POSNER 139 GILMARTIN DRIVE TIBURON, CALIFORNIA 94920



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DRAWN BY:

SCALE:

APPROVED BY:

-33 DRIVE ORNIA 39-290-ARTIN | , CALIF  $\triangleleft \langle$ APN 139 GIL TIBURO 1000

**REVISIONS** NO. DATE DESCRIPTION BUILDING PERMIT G. DEARTH DESIGNED BY:

SPECIFICATIONS

E. HAYDEN

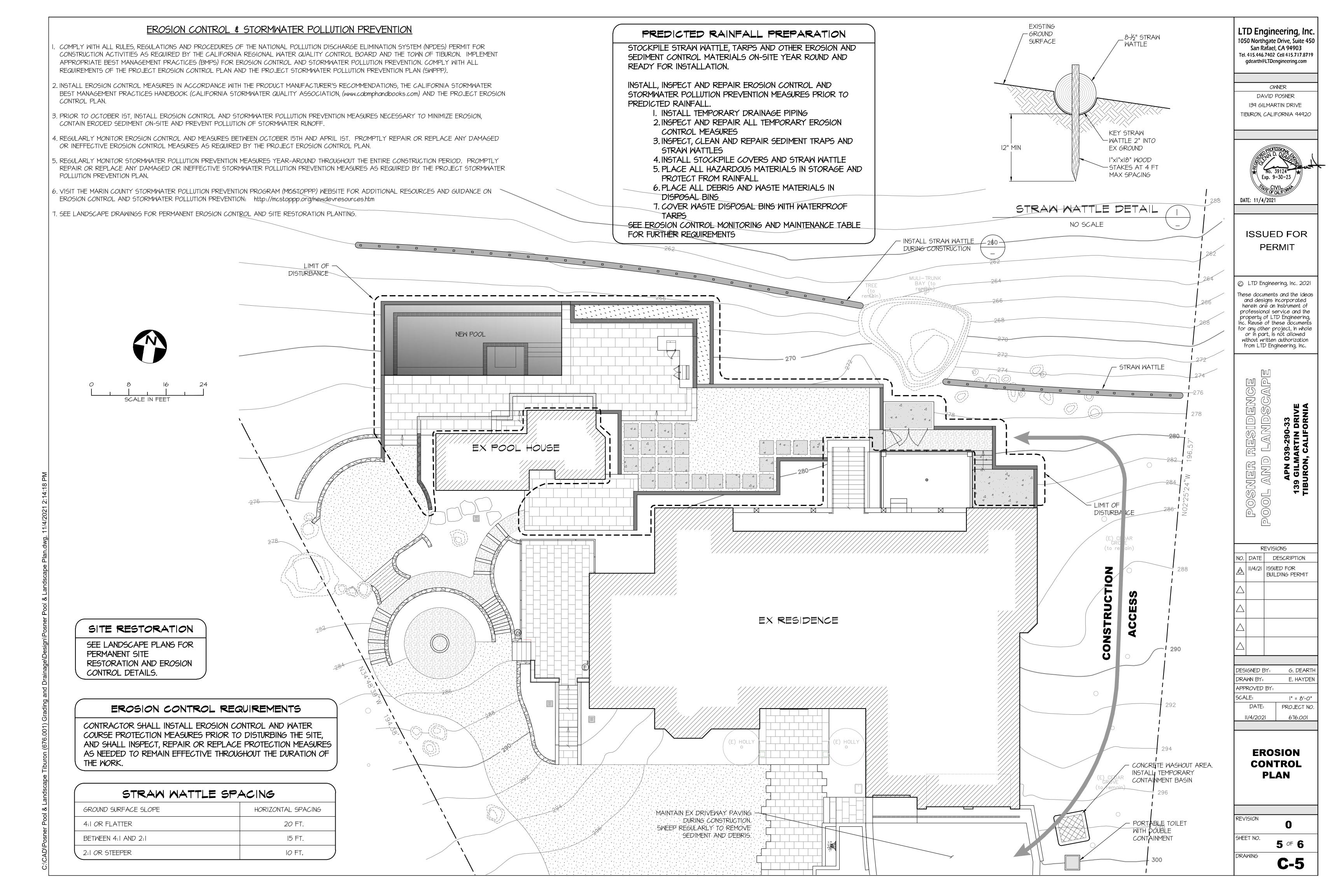
NA

PROJECT NO.

676.001

REVISION SHEET NO. 4 of 6

DRAWING **C-4** 



## CONSTRUCTION EROSION CONTROL PLAN

Install erosion control measures conforming to the EROSION CONTROL STANDARDS and as shown on the drawings and described in the following notes. Install all erosion control measures before starting construction and maintain year round, as appropriate.

#### LIMITS ON THE WORK AREA

- I. Phase grading work to minimize the extent of the disturbed area prior to restoration.
- 2. Confine grading within the construction limits shown on the drawings. Mark the construction limits using temporary fencing or flagging.
- 3. Do not disturb vegetation outside the construction limits.

#### EXCAVATED MATERIAL

l. Use excavated material to construct finished grades as shown on the drawings and in accordance with the geotechnical specifications for the project.

2. Remove excess excavated material from the site and dispose in approved off-site disposal areas.

Supply Water to Wash

where grade exceeds 2% 2% or Greate

12" min

SECTION A-A

\_\_\_\_ Diversion ridge and

- Min 50' (15m).

The entrance shall be maintained to prevent sediment tracking or

When necessary, wheels shall be cleaned prior to entering public

When washing is required, it shall be done on an area stabilized

Site Entrance

with crushed stone that drains into an approved sediment trap of

sediment basin. Rumble plates or tire wash can be added.

flowing onto public right-of-ways. This may require top dressing,

repair and/or cleanout or other measures that trap sediment.

straw wattle

3. Avoid tracking soil onto streets. Install a temporary stabilized construction entrance in accordance with BMP TR-1, (CASQA).

#### TEMPORARY SOIL STOCKPILES

I. Place excavated top soil from the drilled piers, foundation wall excavation and retaining wall excavation in one or more stockpiles located as shown on the drawings. Grade temporary soil stockpiles to a maximum height of five feet, with maximum side slope of 2H:IV. Avoid creating depressions that trap water.

sheeting and hold sheeting in-place using sandbags.

2. Cover the stockpile with plastic

3. Install silt fence or straw wattle around each soil stockpile.

Brace the silt fence sufficiently to support the weight of any sediment that accumulates against it.

#### DIVERSION BERMS AND DOWN-SLOPE PIPES

- l. Construct earth diversion berms at the top of cut and fill slopes to intercept runoff and divert it around the disturbed area.
- 2. Install pipes (HDPE, PVC or corrugated metal) to convey water down steep
- 3. Wherever possible, construct berms at near level gradients to reduce flow velocities and the possibility of erosion damage.
- 4. Comply with BMPs EC-9 and EC-10, (CASQA).

## FEMPORARY PIPES AND LINED DITCHES

- Install temporary pipes and construct lined ditches to convey runoff to the temporary sediment basin.
- 2. Line ditches with rock, erosion control blankets or concrete, depending on the flow velocity and slope of the ditch.
- 3. Where ditches cannot be used, install HDPE, PVC or corrugated metal pipe.
- 4. Size all temporary pipes and ditches for the 10-year, 1-hour storm intensity of 3.0 inches per hour.
- 5. Erosion Control Blanket Lining (velocity less than 6 fps): Long-term coconut fiber erosion control blanket with organic jute fiber netting top and bottom. C125BN manufactured by North American Green (or equal). Install using rigid 6 inch-long biodegradable BioSTAKEs by North American Green.
- 6. Rock Lining (velocity greater than 6 fps and less than 8 fps): Caltrans No.1 rock slope protection placed in a twelve-inch-thick layer over a nonwoven 4 oz/sy qeotextile.
- 7. Comply with BMPs EC-9, EC-10 and EC-11, (CASQA).

## TEMPORARY SEDIMENT BASIN

- When directed by the Engineer during construction, construct a temporary sediment basin to detain runoff and allow suspended sediment to settle out of surface water runoff before it is discharged to the existing stormwater drainage system on the site. Discharge of surface water runoff from disturbed areas directly to the stormwater drainage system is not allowed. Filter all surface runoff through straw wattle or silt fence.
- ?. Maintain the sediment basin throughout construction until the disturbed area is revegetated and slopes are stabilized.
- 3. Remove accumulated sediment from the sediment basin before the volume reaches 25% of the total basin volume. Inspect the basin after every significant rainfall and, if necessary, remove the accumulated sediment.

4. Comply with BMPs SE-2 and SE-3, (CASQA).

#### SEDIMENT FILTER

I. Install sediment filters at all stormwater drainage inlets and culvert inlets.

2. Comply with BMP SE-10, (CASQA).

#### SLOPE PROTECTION

- 1. Install an erosion control blanket in accordance with manufacturer's recommendations on all disturbed areas with a slope equal to or steeper than 3H: IV. BMP EC-7, (CASQA).
- 2. Install straw wattles along the contour of the slope at 20 feet on center and as shown on the drawings. Anchor using I'xI"xI8"wood stakes at 4 feet on center. BMP SE-5, (CASQA)

vertically downslope Staple blankets sufficiently to ensure that material will

maintain direct contact with soil

3. Erosion Control Blanket: Long-term coconut fiber erosion control blanket with organic jute fiber netting top and bottom. C125BN manufactured by North American Green. Install using rigid 6 inch-long biodegradable BioSTAKEs by North American

4. RiceStraw Wattle, 8.5-inch diameter, with biodegradable netting. Anchor using  $\frac{3}{4}$ "  $\times$   $\frac{3}{4}$ " wood stakes at 4 ft spacing.

#### SILT FENCE

. Install prefabricated silt fence at the locations shown on the drawings and at other fieldidentified locations where needed to trap eroded sediment and

reduce runoff velocities during construction.

2. Silt Fence: Prefabricated silt fence consisting of a woven, uv-stabilized geotextile with sewn pockets for wooden stakes. Mirafi prefabricated Silt ence (100X) with 10 foot post spacing. Install bottom of fabric in excavated toe trench in accordance with Manufacturer's recommendations.

## TEMPORARY CHECK DAMS

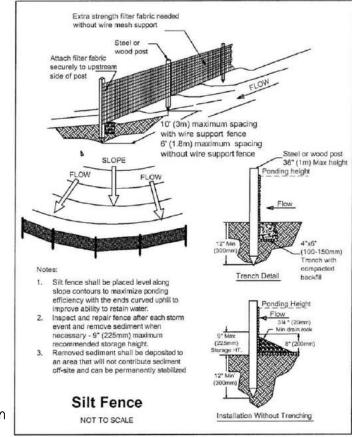
1. Construct temporary rock check dams in the larger drainage ditches to reduce velocities and control erosion. Use rock sized to resist the estimated flow velocity. Locate check dams between 10 and 50 feet apart, depending on the slope of the ditch.

2. Comply with BMP SE-4, (CASQA).

## SITE RESTORATION PLAN

I. Restore all disturbed areas of the site after completing construction of the project.

2. Remove temporary erosion control measures installed during construction.



**Erosion Blanket** 

Note: Actual layout determined in the field

eotextile Filter

typical treatment.

Wet Slope Lining
Not To Scale

3. Grade the site to eliminate depressions where stormwater runoff could accumulate or where runoff could flow in a concentrated channel. Grade the site to slope toward the permanent stormwater collection system inlets where appropriate.

4. Apply mulch and native grass seed to disturbed areas in accordance with the requirements for materials, seed mixes and application methods detailed in the project landscaping specification.

5. Install erosion control blanket and turf reinforcing material as detailed on

6. Install rip rap erosion protection as detailed on the plans

## EROSION CONTROL STANDARDS

- I. Visit Marin County Stormwater Pollution Prevention Program (MCSTOPPP) website for additional resources and quidance on erosion control and stormwater pollution prevention: www.mcstoppp.org.
- 2. Install all erosion control measures in accordance with the details and methods specified in the "Stormwater Best Management Practice Handbook, Construction", California Stormwater Quality Association (CASQA), latest
- 3. Comply with all rules, regulations and procedures of the National Pollution Discharge Elimination System (NPDES) for construction activities as required by the California Regional Water Quality Control Board and Marin County. Comply with all requirements of the Project Erosion Control Plan.
- 4. Install erosion control measures in accordance with the product manufacturer's recommendations.

# Catch Basins with **Gravel Bags** (preferable to sand bags near inlets)

### STORMWATER POLLUTION PREVENTION PLAN

#### PAINTING

- I. Do not rinse paint brushes or materials into a stormwater drain inlet or onto the
- 2. Paint out excess water-based paint before rinsing brushes, rollers or containers in a sink. If a sink is not available, direct wash water to a soil area and spade it into
- 3. Paint out excess oil-based paint before cleaning brushes in paint thinner.
- 4. Whenever possible, filter paint thinner and solvents for reuse. Dispose of oilbased paint sludge and unusable thinner as hazardous waste.
- 5. Dispose of empty paint cans as hazardous waste.
- 6. Dispose of paint chips and dust from non-hazardous dry stripping of paints as trash. Dispose of paint chips and dust containing lead or tributyl tin as hazardous

#### PAYING AND ASPHALT WORK

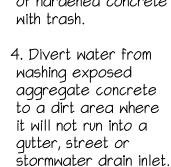
the soil with a shovel.

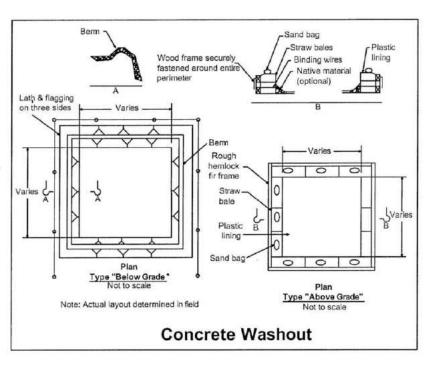
- 1. Do not pave during wet weather or when rain is forecast.
- 2. Always cover stormwater drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal or fog seal.
- 3. Prevent paving materials from entering stormwater drain inlets, ditches and stream
- 4. Do not use water to wash down fresh asphalt or concrete pavement.
- 5. Do not sweep or wash down excess materials into stormwater drain inlets, ditches or stream channels. Collect excess materials and return them to stockpiles or dispose of them as trash.

#### MATERIAL STORAGE AND WASTE DISPOSAL

- I. Sweep streets and other paved areas daily. Never wash down streets or work areas with water.
- 2. Store stockpiles of dirt, sand, asphalt, concrete, grout and mortar under cover and away from drainage areas. Do not allow these materials to reach stormwater drain inlets, ditches or stream channels.

3. Wash out concrete equipment, concrete trucks and concrete pumps at a designated on-site area for washing where water and excess concrete will flow into a temporary pit in a dirt area. Let water seep into the soil and dispose of hardened concrete with trash.





## DEWATERING OPERATIONS

- I. Reuse water for dust control, irrigation or another on-site purpose to greatest extent possible.
- 2. Contact the local Stormwater Coordinator before discharging water to a street, stormwater drain or creek. Filtration or diversion through a basin, tank or sediment trap may be required.

## VEHICLE AND EQUIPMENT MAINTENANCE

- I. Frequently inspect vehicles and equipment for leaks. Use drip pans to catch leaks until repairs are made. Promptly repair leaks.
- 2. Fuel and maintain vehicles on-site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- 3. Clean vehicles or equipment using clean water in a bermed area that will not allow rinse water to run into streets, stormwater drain inlets, ditches or stream channels.
- 4. Do not clean vehicles on-site using soap, solvents, degreasers or steam cleaning

## SAW CUTTING

- I. Completely cover or barricade stormwater drain inlets when saw cutting. Use filter fabric, sand bags or fine gravel dams to keep slurry out of the stormwater drain
- 2. Shovel, absorb or vacuum saw-cut slurry and pick up all waste as soon as work is finished on one location or at the end of the work day.
- 3. Immediately cleanup and remove any saw-cut slurry that enters a stormwater drain

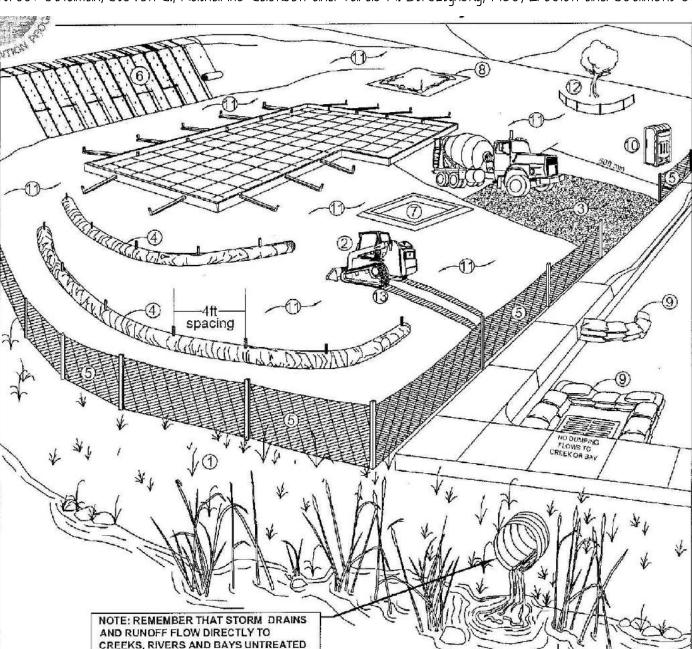
## HAZARDOUS MATERIAL MANAGEMENT

- 1. Label all hazardous materials and hazardous wastes such as pesticides, paint, thinner, solvents, fuel, oil and antifreeze in accordance with City, State and Federal
- 2. Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- 3. Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do no apply chemicals outdoors when rain is forecast within 24 hours.

## EROSION CONTROL MONITORING AND MAINTENANCE

Monitor erosion control measures and disturbed areas of the site year round as appropriate. Apply corrective measures as needed to maintain sediment control. Inspect erosion control measures weekly, prior to forecast rain storms, daily during extended rainfall and after the conclusion of every significant storm. Take appropriate corrective action as described in the following check list. Repair Areas where erosion is evident and reapply BMPs as soon as possible. Care should be exercised to minimize the damage to protected areas while making repairs, as any area damaged will require reapplication of BMPs. If washout or breakage occurs, re-install the material after repairing the damage to the slope or channel.

CONTROL MEASURE	Inspection Items	ACTION TO BE TAKEN
Vegetation	<ul> <li>Rill or gullies forming</li> <li>Bare soil patches</li> <li>Sediment at toe of slope</li> </ul>	<ul> <li>Repair top-of-slope diversion swales</li> <li>Construct additional diversion swales if necessary</li> <li>Fill and regrade eroded areas</li> <li>Reseed, fertilize and mulch bare areas</li> </ul>
Swales	<ul> <li>Low spots in swale</li> <li>Sediment or debris in the channel</li> <li>Erosion of unlined channel surface</li> <li>Erosion of channel lining</li> </ul>	<ul> <li>Repair breaches</li> <li>Fill low spots with compacted soil</li> <li>Remove obstructions</li> </ul>
Pipe drains	<ul> <li>Blocked inlet or outlet</li> <li>Runoff bypassing inlet</li> <li>Erosion at outlet</li> </ul>	<ul> <li>Remove sediment and debris</li> <li>Enlarge inlet headwall</li> <li>Enlarge riprap apron or use larger rock</li> </ul>
Grassed waterways	<ul> <li>Bare areas</li> <li>Channel capacity reduced by tall growth</li> </ul>	<ul> <li>Reseed, mulch and install netting</li> <li>Divert flow, if possible, until grass is established</li> <li>Mow grass</li> </ul>
Riprap-lined waterways	<ul><li>Scour beneath rock</li><li>Dislodged rock</li></ul>	<ul> <li>Install filter fabric beneath rock and make sure edges of fabric are anchored into the subsoil</li> <li>Replace rock or add larger rock</li> </ul>
Outlet protection	<ul> <li>Erosion below outlet</li> <li>Outlet erosion</li> <li>Dislodged rock</li> </ul>	<ul> <li>Replace rock or add larger rock</li> <li>Enlarge riprap apron</li> <li>Add erosion protection to the channel downstream from the outlet</li> <li>Install filter fabric beneath rock and make sure edges of fabric are anchored into the subsoil</li> </ul>
Sediment traps	<ul> <li>Sediment level near outlet elevation</li> <li>Obstructed outlet</li> <li>Basin not dewatering between storms</li> <li>Damaged embankment</li> <li>Spillway erosion</li> <li>Outlet erosion</li> <li>Sediment storage zone fills to quickly</li> </ul>	<ul> <li>Remove sediment</li> <li>Remove debris from outlet trash rack</li> <li>Clear obstruction and sediment away from the outlet structure</li> <li>Rebuild damaged embankments</li> <li>Add rock and filter fabric to the spillway channel</li> <li>Enlarge or repair riprap apron at the outlet structure</li> <li>Increase the depth of the basin or divert runoff to a different sediment basin</li> </ul>
Stram Wattles	<ul> <li>Undercutting of straw wattle</li> <li>Damaged wattle</li> <li>Runoff escaping around end of wattle</li> <li>Sediment level near top of wattle</li> </ul>	<ul> <li>Fill undercut area with soil and compact, re-anchor the wattle with wooden stakes</li> <li>Replace damaged wattles</li> <li>Extend wattle</li> <li>Remove sediment or install additional wattles upslope</li> </ul>
Silt Fences	<ul> <li>Undercutting of silt fence</li> <li>Fence collapsing</li> <li>Torn fabric</li> <li>Runoff escaping around fence</li> <li>Sediment level near top of the fence</li> </ul>	<ul> <li>Anchor bottom of silt fence in a trench filled with compacted backfill</li> <li>Replace fence posts or install additional posts</li> <li>Replace torn fabric</li> <li>Extend fence</li> <li>Remove sediment before it reaches half the fence height</li> </ul>
Check Dams	<ul> <li>Sediment accumulation</li> <li>Flow escaping around the sides of check dam</li> <li>Displacement of timber, sandbags or rock</li> </ul>	<ul> <li>Remove sediment after each storm</li> <li>Build up the ends of the check dam and provide a low center area for overflow</li> <li>Reinforce the check dam with larger rock or divert a portion of the runoff to another outlet</li> </ul>
Inlet Structures	<ul><li>Flooding around or below inlet</li><li>Undercutting of silt fence</li></ul>	<ul><li>Remove accumulated sediment</li><li>See recommended actions for silt fencing</li></ul>



(1) Check with your local Planning and Public Works departments for creek setback requirements. Grading and/or building may be limited within creekside buffers.

(3) <u>Stabilize site entrance</u> and temporary driveway - use 3" crushed rock for minimum of 50'

(or as far as possible) to prevent tracking soil offsite. This can be used in conjunction

(2) During grading phase, track-walk up and down slopes (not parallel to them).

with a tire wash or rumble plates.

Clean as needed and remove at end of project. (8) Cover all stockpiles and landscaped material and

fencing must be keyed in.

stabilized entrance.

berm properly. (9) Use pea gravel bags around <u>drain inlets</u> located both onsite and in autter.

(5) Install <u>silt fence</u> along contours as <u>secondary</u> measure

to keep sediment onsite and to minimize vehicle and

6) Install <u>erosion control blankets</u> (see Slope Protection

foot traffic beyond limits of site disturbance. Silt

(7) Construct a concrete washout site adjacent to

(10) Place port-a-potty near stabilized site entrance, behind curb and away from gutters or storm drain inlets and water bodies.

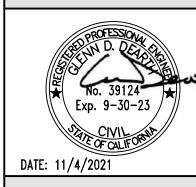
(II) Cover all exposed soil with straw mulch and tackifier <u>(or equivalent).</u>

(12) Existing vegetation should be preserved as much as possible. Areas of disturbed soil/vegetation should be revegetated as soon as practical.

(13) Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment.

LTD Engineering, Inc. 1050 Northgate Drive, Suite 450 San Rafael, CA 94903 Tel. 415.446.7402 Cell 415.717.8719 gdearth@LTDengineering.com

OWNER DAVID POSNER 139 GILMARTIN DRIVE TIBURON, CALIFORNIA 94920



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RESIDENGE -33 DRIVE 39-290 ARTIN CALIF APN 39 GII IBURC POSNE

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**REVISIONS** NO. DATE DESCRIPTION BUILDING PERMIT

DESIGNED BY: G. DEARTH DRAWN BY: E. HAYDEN APPROVED BY: SCALE: NA PROJECT NO. 11/4/2021 676.001

**EROSION CONTROL & STORMWATER POLLUTION PREVENTION NOTES** 

REVISION SHEET NO. 6 of 6

DRAWING

**C-6** 

## GENERAL NOTES

20 #/SQ.FT. 1. DESIGN LOADS PER CBC 2019: LIVE LOAD: ROOF 40 #/SQ.FT. 0 #/SQ.FT. GROUND SNOW LOAD Pg:

GEOTECHNICAL DESIGN INFORMATION: BEARING PRESSURE N/A (PIER SUPPORTED)

WIND: BASIC WIND SPEED  $V_{ult} = 110 \text{ MPH}$   $V_{osd} = 85 \text{ MPH}$ DESIGN DATA

RISK CATEGORY = B URBAN AND SUBURBAN AREAS **EXPOSURE** 

INTERNAL PRESSURE COEFF. = N.A. COMPONENTS AND CLADDING = 10 #/SQ.FT.

SEISMIC DESIGN DATA IMPORTANCE FACTOR  $I_{s} = 1.0$ 

OCCUPANCY CATEGORY

MAPPED SPECTRAL RESPONSE ACCELERATION  $S_s = 1.5q$   $S_1 = 0.6q$ 

SPECTRAL RESPONSE COEFFICIENTS SEISMIC DESIGN CATEGORY D

LATITUDE = 37° 53′ 34" LONGITUDE = 122° 28′ 05′ BASIC SEISMIC - FORCE - RESISTING SYSTEM RIGID NON-BUILDING STRUCTURE

 $V_F = 0.3 S_{DS} Wl_e$  $S_{DS} = 1.0 \quad I_{e} = 1.0 \quad V_{E} = 0.3W$  $V_{E_{ASD}} = 0.3(0.7)W = 0.21W$ 

ALL WORK SHALL COMPLY WITH THE CODES AND REGULATIONS OF THE TOWN OF TIBURON AND THE FOLLOWING STATE ADOPTED CODES:

THE 2019 CALIFORNIA RESIDENTIAL CODE EXCEPT AS LIMITED BY SECTION R301.1.3

THE 2019 CALIFORNIA BUILDING CODE AND THE ADOPTED SECTIONS OF THE 2018 INTERNATIONAL BUILDING CODE THE 2019 CALIFORNIA MECHANICAL CODE AND ADOPTED SECTIONS OF THE 2018 UNIFORM MECHANICAL CODE

THE 2019 CALIFORNIA PLUMBING CODE AND THE ADOPTED SECTIONS OF THE 2018 UNIFORM PLUMBING CODE

THE 2019 CALIFORNIA ELECTRICAL CODE AND THE ADOPTED SECTIONS OF THE 2017 NATIONAL ELECTRICAL CODE THE 2019 CALIFORNIA FIRE CODE AND THE ADOPTED SECTIONS OF THE 2018 INTERNATIONAL FIRE CODE

THE 2019 CALIFORNIA ENERGY CODE

THE 2019 CALIFORNIA GREEN BUILDING STANDARDS

THE 2019 UNIFORM SWIMMING POOL, SPA AND HOT TUB CODE

AND OTHER APPLICABLE SECTIONS OF THE TOWN OF TIBURON MUNICIPAL CODE

2. BEFORE COMMENCING WORK CONTRACTOR SHALL VERIFY OR DETERMINE IN THE FIELD ALL PERTINENT DIMENSIONS AND DETAILS. ANY CONFLICT OR INTERFERENCE AFFECTING THE NEW OR EXISTING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD FOR RESOLUTION.

3. ALL WORKMANSHIP SHALL CONFORM TO THE BEST PRACTICE IN MODERN CONSTRUCTION

#### <u>GEOTECHNICAL NOTES</u>

I. THE CONTRACTOR SHALL FOLLOW ALL THE RECOMMENDATIONS SET FORTH IN THE JULY 26, 2021 GEOTECHNICAL MEMORANDUM PROVIDED BY CALIFORNIA ENGINEERING CO.

> 903 VENTURA AVE. BERKELEY, CA 94707 PH. (510) 525-1495

INCLUDING BUT NOT LIMITED TO GRADING, BACKFILLING AND DRAINAGE.

2. THE GEOTECHNICAL ENGINEER SHALL PROVIDE THE FOLLOWING INSPECTIONS:

PIER DRILLING OPERATION GRADING, EXCAVATION AND BACK FILLING

A LETTER WET STAMPED AND SIGNED BY THE GEOTECHNICAL ENGINEER STATING THAT ALL WORK REQUIRING INSPECTIONS MEET THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT SHALL BE SENT TO THE ENGINEER OF RECORD AND THE BUILDING DEPARTMENT.

## CONCRETE NOTES

1. ALL CONCRETE USED ON THIS PROJECT SHALL ATTAIN AN ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

PLAN CHECKER NOTE: STRUCTURAL CALCULATIONS FOR ALL CONCRETE EXCEPT CONCRETE USED IN DRILLED PIERS WERE BASED ON 2500 PSI CONCRETE AND THEREFORE NO SPECIAL INSPECTION REQUIREMENTS ARE NEEDED. CONCRETE USED IN DRILLED PIERS SHALL BE TESTED AS NOTED IN

2. REINFORCING STEEL SHALL CONFORM TO ASTM 615 AND SHALL BE FABRICATED AND PLACED IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN CONCRETE INSTITUTE AND THESE DRAWINGS. #4 GRADE 40, #5 AND LARGER GRADE 60.

THE SPECIAL INSPECTION REQUIREMENTS.

3. REINFORCEMENT SHALL BE PLACED AS SHOWN ON THE DRAWINGS AND SHALL BE TIED AND SUPPORTED SO THAT IT WILL NOT BE DISPLACED FROM THE PROPER POSITION BY SUBSEQUENT CONSTRUCTION OPERATIONS.

4. CONCRETE SHALL BE PLACED AS CLOSELY AS POSSIBLE TO ITS FINAL LOCATION AND SHALL BE CONSOLIDATED BY THE USE OF MECHANICAL VIBRATORS.

5. CONSTRUCTION JOINTS IN CONCRETE SLAB ON GRADE SHALL BE PLACED AT THE DISCRETION OF THE CONTRACTOR. SLAB REINFORCEMENT SHALL BE CONTINUOUS THROUGH THE JOINT. ALL HORIZONTAL CONSTRUCTION JOINTS SHALL BE CLEANED AND ROUGHENED TO EXPOSE AGGREGATE EMBEDDED IN MORTAR MIXTURE BY CHIPPING AND SANDBLASTING 5 DAYS MINIMUM AFTER INITIAL PLACEMENT, OR BY HOSE WASHING BETWEEN 2 AND 4 HOURS AFTER CONCRETE PLACEMENT.

6. ALL FOUNDATION BOLTS (ANCHOR, HOLD DOWNS, ETC) SHALL BE INSTALLED PRIOR TO PLACEMENT OF CONCRETE.

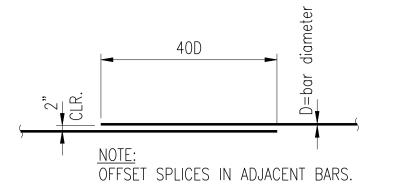
## INSPECTIONS BY ENGINEER OF RECORD

PRIOR TO CALLING FOR INSPECTIONS BY THE LOCAL BUILDING INSPECTOR, THE CONTRACTOR SHALL IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE SECTION 1704.6 HAVE THE ENGINEER OF RECORD PROVIDE STRUCTURAL OBSERVATION AND INSPECTION FOR THE FOLLOWING ITEMS:

A. REINFORCING STEEL

THE ENGINEER SHALL SUBMIT A STATEMENT, IN WRITING, TO THE BUILDING OFFICIAL STATING THAT THE REQUIRED SITE VISITS HAVE BEEN MADE AND WHETHER OR NOT ANY OBSERVED DEFICIENCIES HAVE BEEN CORRECTED TO CONFORM TO THE APPROVED PLANS AND SPECIFICATIONS OR TO REVISED DETAILS APPROVED BY THE BUILDING OFFICIAL.

STRUCTURAL OBSERVATION, WHEN REQUIRED, DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS OR OTHER INSPECTIONS REQUIRED BY CODE.



LAP SPLICE

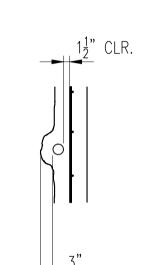
# TYPICAL SHOTCRETE REINFORCING DETAIL

### <u>SHOTCRETE NOTES</u>

BUILDING OFFICIAL.

1. COARSE AGGREGATE, IF USED, SHALL NOT EXCEED

. SHOTCRETE SHALL CONFORM TO CBC SECTION 1924. . SPECIAL INSPECTIONS PER CBC TABEL 1705.3 ITME 7 AND SECTION 1910.5 AND 1910.10 SHALL BE PROVIDED FOR SHOTCRETE. REPORTS SHALL BE SENT TO ENGINEER OF RECORD AND



1. COORDINATE EXCAVATION AND POOL DRAINAGE REQUIREMENTS WITH GEOTECHNICAL ENGINEER OF

2. CONTRACTOR TO COORDINATE INSTALLATION AND REQUIREMENTS FOR LIGHTING, POOL EQUIPMENT PLUMBING, ELECTRICAL AND ALL OTHER NON-STRUCTURAL ITEMS NOT SHOWN. PROVIDE A MINIMUM OF 1½" CLEARANCE AROUND ALL PIPING.

3. COORDINATE DETAILS AND ELEVATIONS OF SITE WORK AND POOL WITH ARCHITECTS DRAWINGS

4. SOIL PREPARATION FOR SITE IMPROVEMENTS SUPPORTED ON GRADE SHALL BE AS RECOMMENDED BY THE GEOTECHNICAL REPORT.

## DEMOLITION AND SHORING

1. CONTRACTOR SHALL REMOVE FROM SITE ALL DEMOLISHED MATERIALS.

2. DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE BUILDING AND/OR EXCAVATIONS. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES.

1. ALL VERTICAL AND HORIZONTAL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH #2 GRADE OR BETTER AS RATED BY WCLIB OR WWPA UNLESS OTHERWISE NOTED ON THE DRAWINGS. 6x BEAMS. 6x POSTS, AND STAIR STRINGERS SHALL BE DOUGLAS-FIR-LARCH #1 GRADE. THE MOISTURE CONTENT OF ALL LUMBER AT THE TIME OF INSTALLATION AND DURING USE SHALL NOT EXCEED 19%.

2. PLYWOOD SHEATHING SHALL CONFORM TO PRODUCT STANDARD PS 1 OF THE U. S. DEPARTMENT OF COMMERCE FOR GRADE C-D ASSEMBLED WITH EXTERIOR GLUE. INSTALL PLYWOOD CONTINUOUS OVER TWO OR MORE SPANS, WITH FACE GRAIN ACROSS SUPPORTS. STAGGER END PANEL JOINTS. ALLOW  $\frac{1}{16}$ " SPACING AT PANEL ENDS AND  $\frac{1}{8}$ " AT PANEL EDGES. PROVIDE 2x4 FLAT BLOCKING AS CALLED FOR ON THE DRAWINGS.

3. ALL WOOD EXPOSED TO WEATHER. IN CONTACT WITH CONCRETE OR WITHIN 8" OF EARTH AT THE EXTERIOR SHALL BE PRESSURE TREATED. JOISTS AND DECKING WITHIN 18" AND GIRDERS WITHIN 12" OF EARTH ON THE INTERIOR SHALL ALSO BE PRESSURE TREATED. PRESSURE TREAT WOOD WITH COPPER SALTS IN CONFORMANCE WITH THE APPLICABLE AWPA STANDARD U1 AND M4 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE.

4. ALL CONNECTORS SHALL BE SIMPSON STRONG TIE OR APPROVED EQUAL. REQUESTS FOR OTHER CONNECTOR BRANDS MUST BE MADE IN WRITING WITH THE CURRENT COPIES OF ALL LITERATURE INCLUDING ICC REPORTS. ANY LIABILITY RESULTING FROM THE USE OF NON-APPROVED FRAMING HARDWARE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR/INSTALLER INCLUDING BUT NOT LIMITED TO PRODUCT PERFORMANCE. CONTRACTOR SHALL USE NAILS AS CALLED FOR IN THE SIMPSON LITERATURE. USE SIMPSON Zmax OR EQUAL, HOT DIPPED GALVANIZED OR STAINLESS STEEL FASTENERS, BOLTS AND HANGERS IN CONTACT WITH P.T. LUMBER. NO VINYL COATED SINKERS WILL BE ALLOWED.

5. BOLTS SHALL BE ASTM A307 BOLTS WITH SIZE AND SPACING AS CALLED FOR ON THE DRAWINGS. HOLES IN WOOD AND STEEL TO BE  $\frac{1}{16}$ " OVERSIZE. STEEL PLATE WASHERS SHALL BE USED UNDER ALL BOLT HEADS AND NUTS WHERE THEY WOULD OTHERWISE BEAR DIRECTLY ON WOOD. NUTS SHALL BE FINGER TIGHTENED PLUS 1/3 TO 1/2 TURN WITH HAND WRENCH WHEN PLACED AND THEN AND RETIGHTENED IMMEDIATELY BEFORE CLOSING WITH FINISH CONSTRUCTION.

6. NAILING SHALL BE IN CONFORMANCE WITH THE CALIFORNIA BUILDING CODE. TABLE 2304.10.1

7. NAIL HEADS SHALL NOT PENETRATE OUTER PLY OF ANY HORIZONTAL OR VERTICAL DIAPHRAGM, AND MINIMUM ALLOWABLE EDGE DISTANCES SHALL BE MAINTAINED.

## SPECIAL INSPECTIONS

1. SPECIAL INSPECTION AND TESTING BY AN INDEPENDENT TESTING LABORATORY IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE SECTION 1704 SHALL BE PAID FOR BY THE OWNER AND SCHEDULED BY THE CONTRACTOR FOR THE FOLLOWING ITEMS:

A. CONTINUOUS INSPECTION FOR PLACEMENT OF CONCRETE FOR DRILLED PIERS. (BY INDEPENDENT INSPECTOR)

B. TAKE TEST CYLINDERS, PERFORM SLUMP TEST AND DETERMINE CONCRETE TEMPERATURE

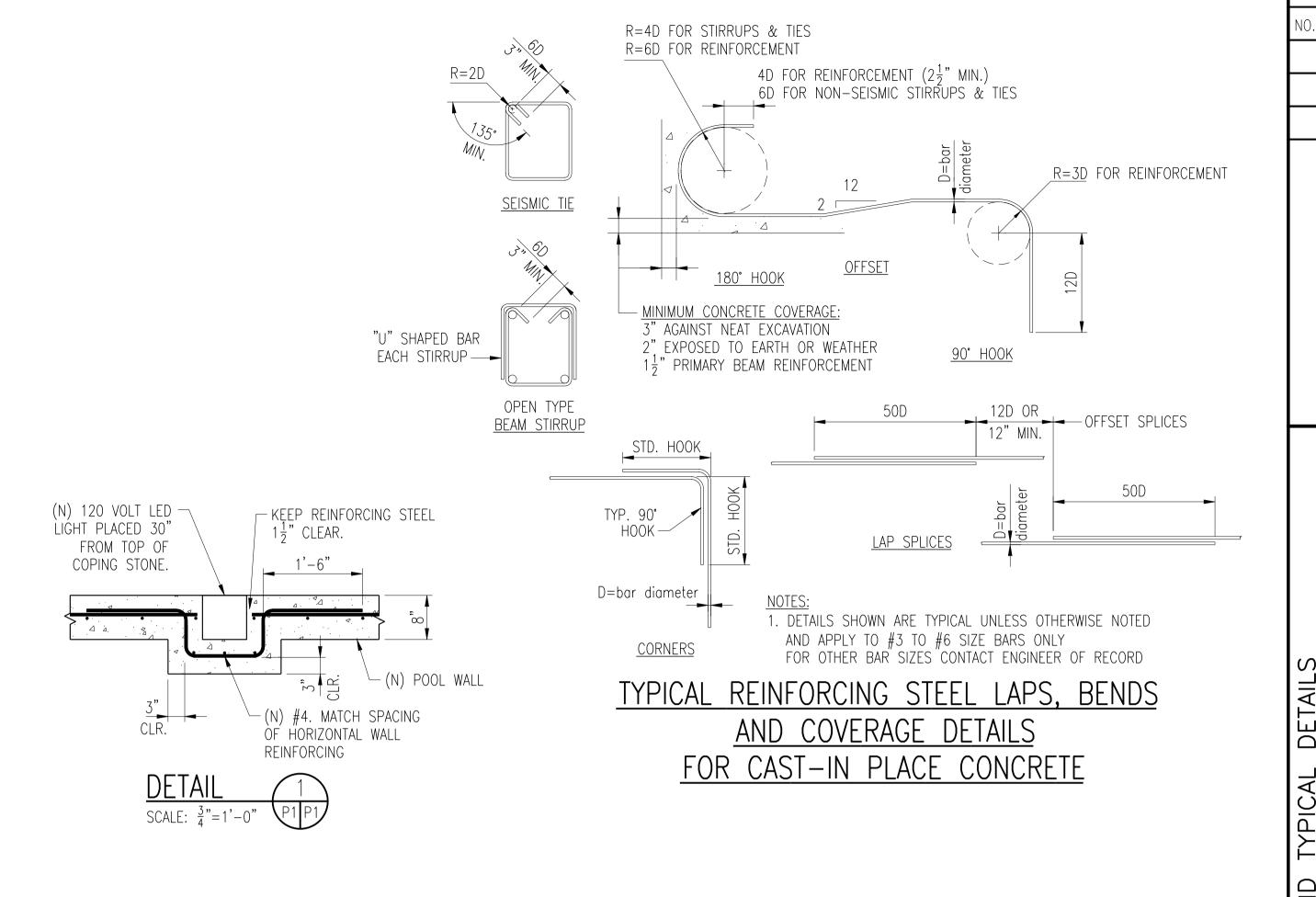
OF CONCRETE USED IN DRILLED PIERS. (BY INDEPENDENT INSPECTOR)

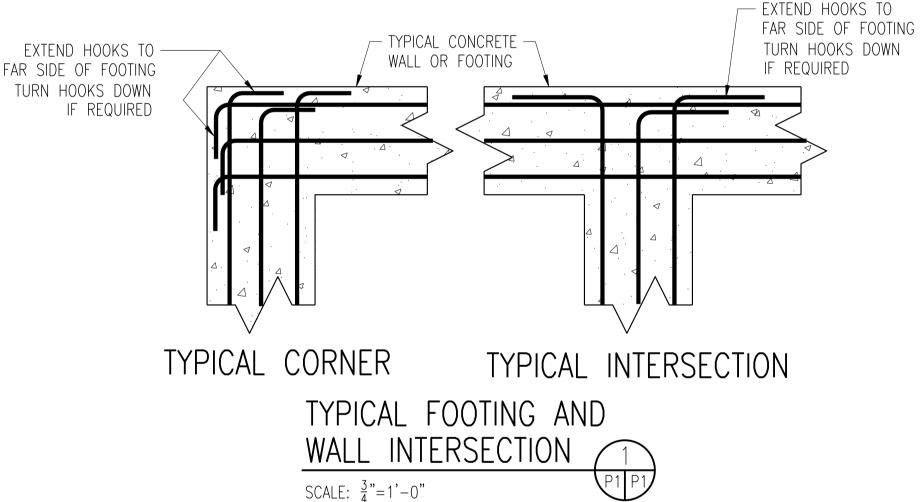
C. CONTINUOUS INSPECTION FOR PLACEMENT OF SHOTCRETE/GUNITE. (BY INDEPENDENT INSPECTOR) D. PREPARATION OF TEST PANELS FOR SHOTCRETE/GUNITE AND PERFORM COMPRESSION TESTS. (BY INDEPENDENT INSPECTOR)

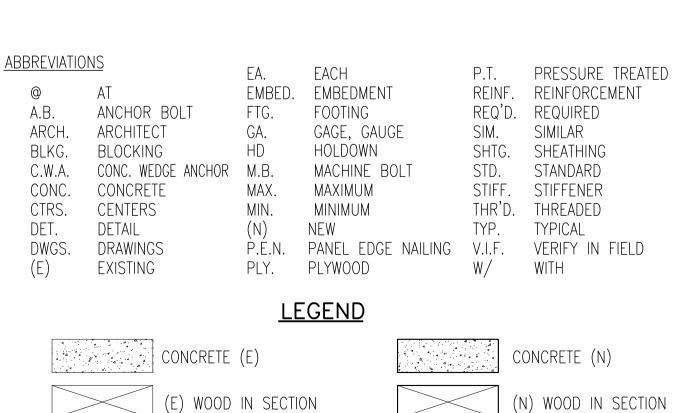
E. PERIODIC INSPECTION FOR EPOXY SET REINFORCING STEEL (NO PULL TESTS REQUIRED). (BY ENGINEER OF RECORD AS ALLOWED IN EXCEPTION 1 OF CBC SECTION 1704.2) A LETTER SIGNED BY THE SPECIAL INSPECTOR STATING THAT ALL WORK REQUIRING SPECIAL INSPECTION MEET THE

REQUIREMENTS OF THE APPROVED SET OF PLANS AND SPECIFICATIONS SHALL BE SENT TO THE ENGINEER OF RECORD

AND THE BUILDING DEPARTMENT.







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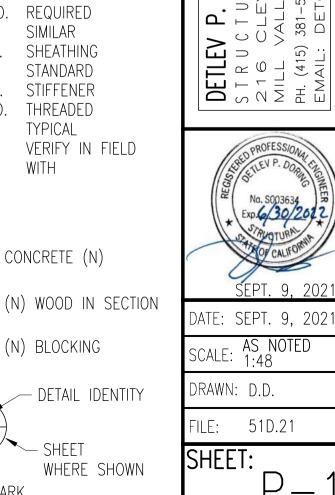
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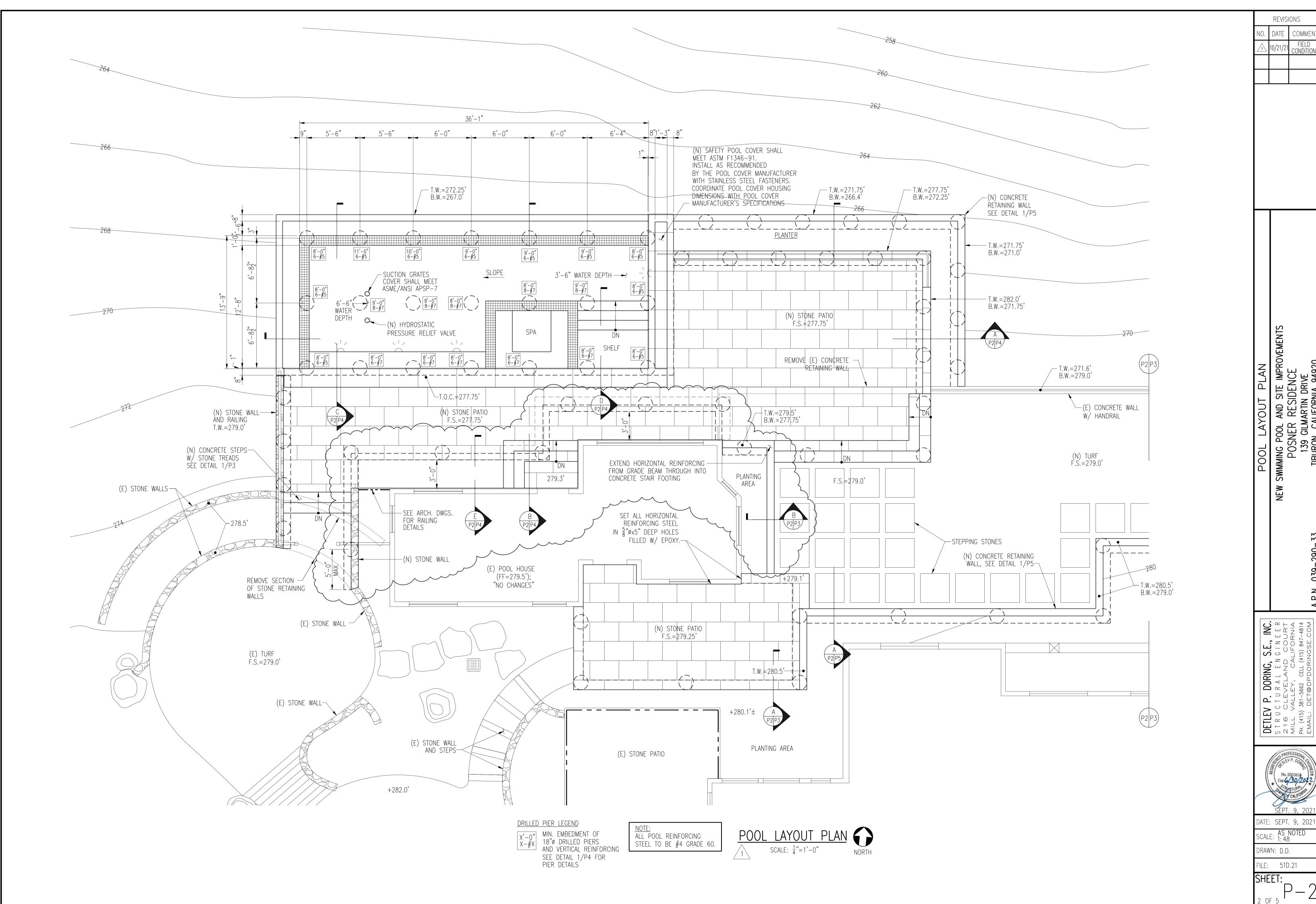
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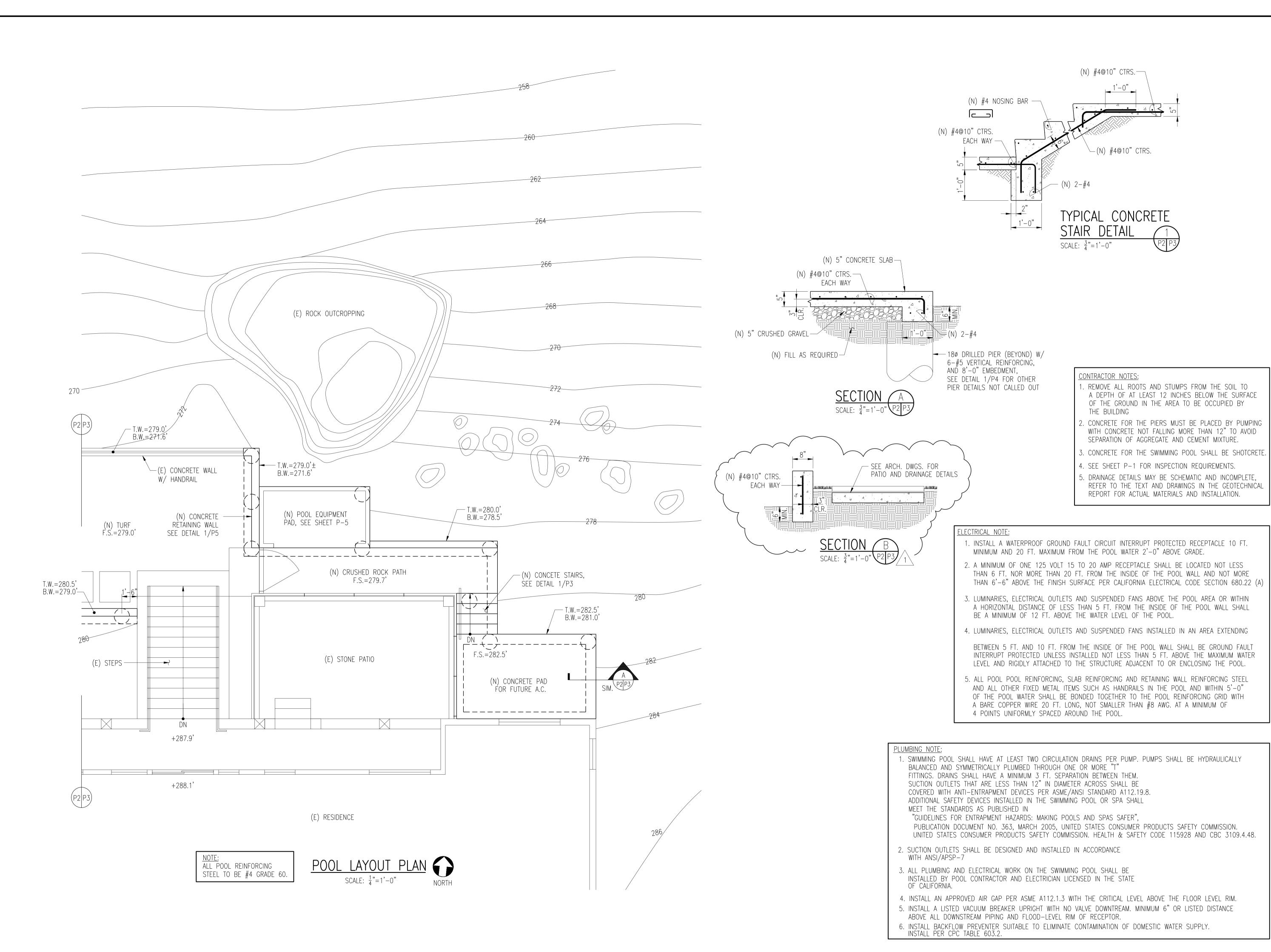
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S.E., 6 I N I COU LLIFOR 15) 847-NGSE. DETLEY P. DORING, S. T. R. U. C. T. U. R. A. L. E. N. (2.16 CLEVELAND MILL VALLEY, CAL PH. (415) 381-5662 CELL (415 EMAIL: DET@DPDORIN



DATE: SEPT. 9, 2021 SCALE: AS NOTED 1:48



REVISIONS

NO. DATE COMMENT

10/21/21 FIELD CONDITIONS

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STRUCTURAL ENGINEER

216 CLEVELAND COURT

MILL VALLEY, CALIFORNIA

PH. (415) 381-5662 CELL (415) 847-4814

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SEPT. 9, 2021

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